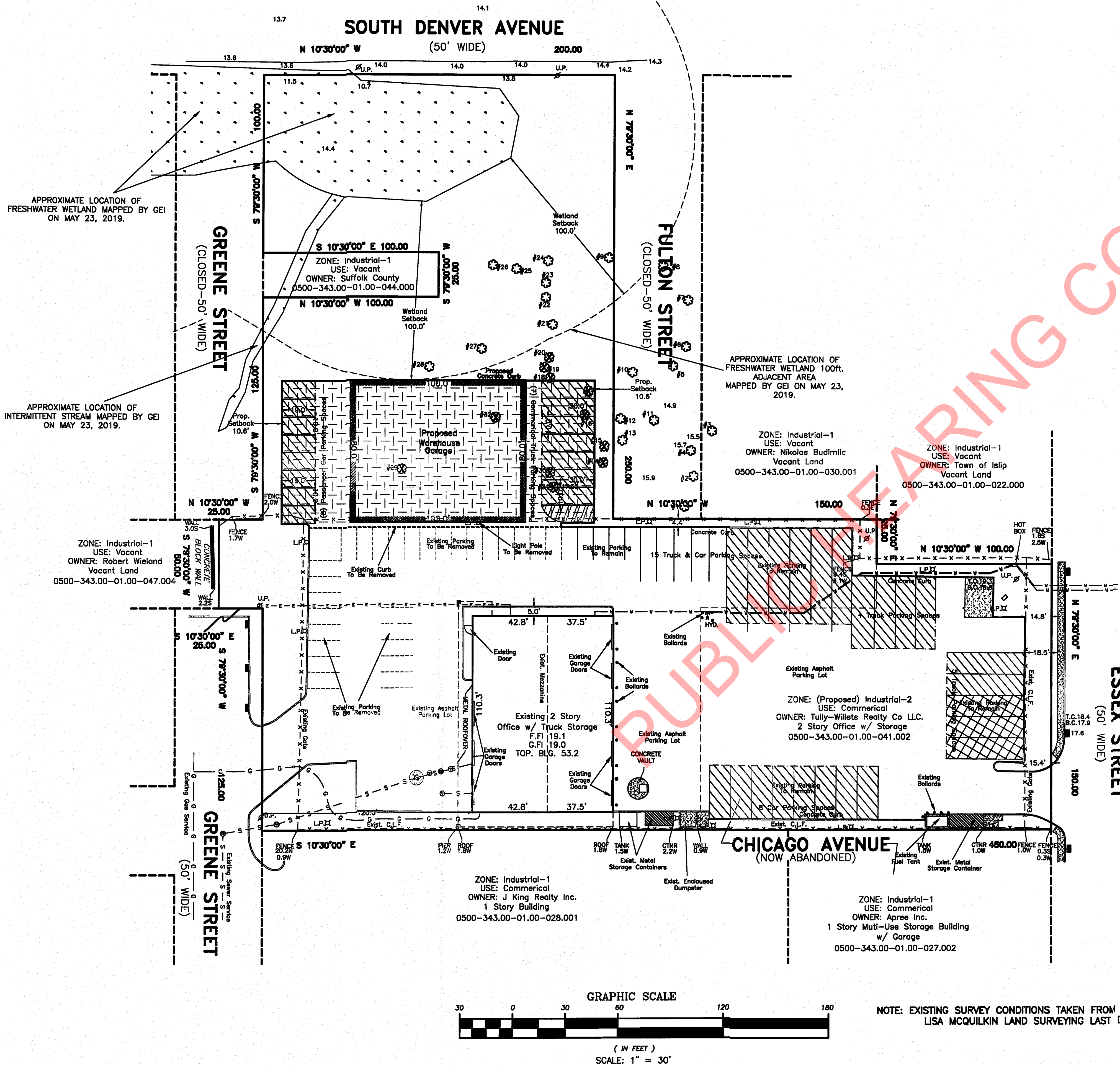


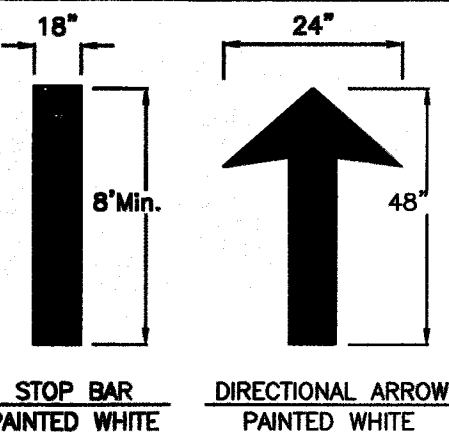
The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



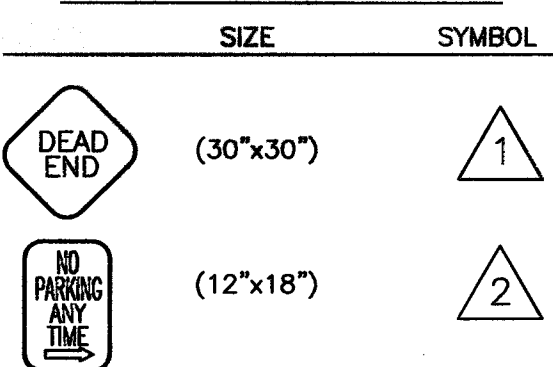
TOWN OF ISLIP DEPARTMENT OF PLANNING & ENGINEERING DIVISION NOTES

1. CONTACT ENGINEERING INSPECTOR (631-224-5380) AT LEAST 24 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
2. COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
3. OBTAIN A TOWN RIGHT-OF-WAY PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610).
4. CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR. AND WITHIN SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
5. PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
6. CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION. ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICE SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT. IMPROVE SURFACES ARE PROPOSED OVER THE ROUTING PATH.
7. ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES."
8. LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE. IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28B.
9. ALL CONSTRUCTION AND DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDC FACILITY. LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
10. THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
11. APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 54.75 AND 54.78. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
12. REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/ OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES WHEN THEY ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.
13. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
14. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AND UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

PAVEMENT MARKING LEGEND



SIGN LEGEND

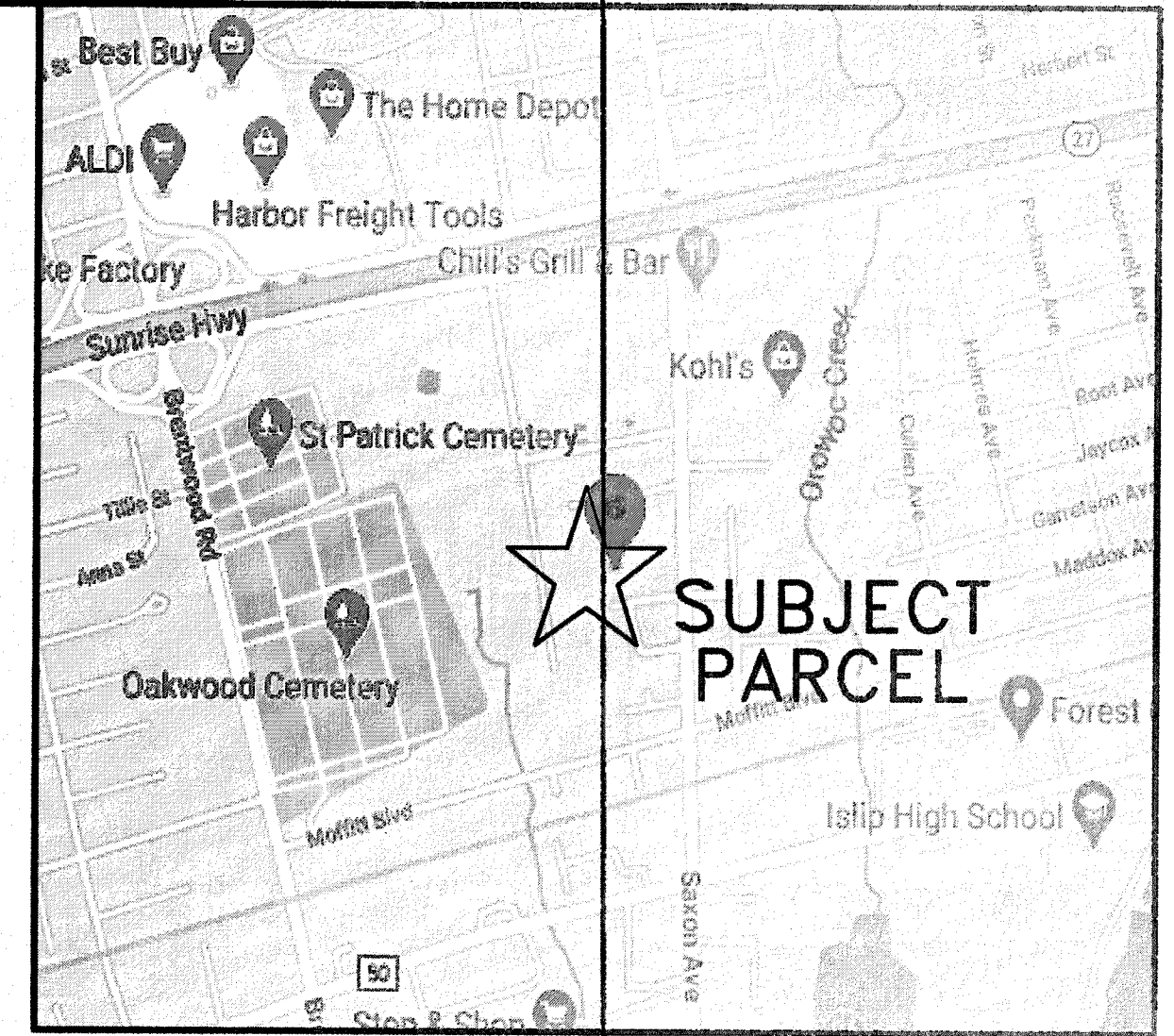


OUTDOOR STORAGE AREAS


HATCH	ITEM
[Hatch pattern]	OVERNIGHT TRUCK STORAGE AREA
[Hatch pattern]	FRAC TANK STORAGE AREA

LEGEND

[Symbol]	C.B.	Catch Basin
[Symbol]	G.V.	Gas Valve
[Symbol]	M.H.C.	Manhole Cover
[Symbol]	Hyd.	Hydrant
[Symbol]	L.P.	Light Pole
[Symbol]	S.I.D.	Surface Inlet drain
[Symbol]	U.P.	Utility Pole
[Symbol]	W.M.	Water Meter
[Symbol]	W.V.	Water Valve
[Symbol]	A/C	Air Conditioner
[Symbol]	98.82	Exist. Spot Elev.
[Symbol]	98.82	Prop. Spot Elev.
[Symbol]	Flow	Flow Arrow



KEY MAP
NOT TO SCALE

PARKING CALCULATIONS			GENERAL NOTES	
<p>Existing Warehouse Garage = 1 / 600 s.f. GFA 7857.09 S.F. = 13 Parking Spaces 600 S.F. of GFA / Space</p> <p>Existing Office Space = 1 / 200 s.f. GFA 4300.0 S.F. = 22 Parking Spaces 200 S.F. of GFA / Space</p> <p>Total Parking Req'd. = 35 spaces Total Parking Provided. = 48 spaces</p> <p>Handicapped Spaces 55 Spaces Req'd x 5% = 2.75 Spaces Total Handicapped Spaces Req'd. = 3 spaces Total Handicapped Spaces Provided. = 1 spaces</p>			<div>1. THE DEVELOPER MUST NOTIFY THE HIGHWAY ENGINEERING DEPARTMENT 24 HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY OFFSITE DRAINAGE, CURB, SIDEWALK APRON OR PAVING WORK.</div> <div>2. EXISTING CURBS, SIDEWALKS AND DRIVEWAY APRONS ARE TO BE REMOVED AND REPLACED FROM CONSTRUCTION JOINT TO CONSTRUCTION JOINT TO ITS FULL DEPTH FOR INSTALLATION AND/OR REMOVAL OF CURBS CUTS AND FOR THE REPLACEMENT OF DAMAGES WHETHER INCURRED PRIOR TO OR DURING CONSTRUCTION.</div> <div>3. ALL WORK SHALL CONFORM TO THE LATEST PLANNING BOARD SPECIFICATIONS AND STANDARDS.</div> <div>4. ALL LANDSCAPED AREAS SHALL BE UNDERGROUND SPRINKLER SYSTEMS IN ACCORDANCE WITH TOWN SPECIFICATIONS.</div> <div>5. ALL UTILITIES SHALL BE UNDERGROUND AS PER PLANNING BOARD SPECIFICATION.</div> <div>6. ALL ELEVATIONS ARE ON U.S.C. AND G.S. DATUM.</div> <div>7. ALL SITE WORK CONCRETE SHALL BE MIN. 4000 PSI AT THE END OF 28 DAYS.</div> <div>8. THE DEVELOPER MUST NOTIFY THE TOWN ENGINEERING DIVISION 24 HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY ONSITE DRAINAGE, CURB, OR PAVING WORK.</div> <div>9. ALL LEACHING BASINS SHALL BE CLEARED OF ALL SILT & DEBRIS AFTER CONSTRUCTION IS COMPLETE.</div> <div>10. CONTRACTOR MUST COMPLY WITH APPROVED WORKING DRAWINGS & REQUIREMENT SHEETS, NO DEVIATION PERMITTED EXCEPT BY WRITTEN APPROVAL OF THE TOWN PLANNING BOARD.</div> <div>11. ALL SOLID WASTE CONCRETE SHALL BE BROUGHT TO FINISH GRADE.</div>	
ZONING ANALYSIS & CALCULATIONS – TOWN OF ISLIP				
LOT AREA = 126,250.0 SF (2.89 ACRES)				
ZONE	ZONING ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
INDUSTRIAL DISTRICT 2 (ID2)	MIN. LOT AREA	126,250.0 S.F.	50,000.0 S.F.	50,000.0 S.F.
	MIN. LOT WIDTH	100 FT	200.0 FT	200.0 FT
	LOT OCCUPANCY	0.35 FAR	0.036 FAR	0.036 FAR
	FYSB(MIN)-PROP. BLDG	50 FT	304.9 FT	304.9 FT
	SYSB(MIN)-PROP. BLDG	50 FT	119.9 FT	119.9 FT
	RYSB-PROP. BLDG	10 FT	9.9 FT	9.9 FT
Prior Site Plan Application No. SP2002-003 & SP2002-056		Property Information		
Gross Floor Area Ratio (G.A.R.)		Suffolk County Tax Map No.		
Existing Building Area = 10,185.65 S.F.		0500-343.00-01.00-029.004, 046.001		
10,185.65 S.F.				
Floor Area Ratio Calculations (F.A.R.)		Project Title		
Gross Floor Area = 10,185.65 S.F. / 125,000.0 S.F. Site =0.0815 = 8.15%		PROPOSED PAVED PARKING AREA CLEARBROOK		
Site Plan Application No. SP2022-013		15 GREENE STREET BAY SHORE, NY 11706		
Stamp		ALIGNMENT PLAN		
Scale 1"=30'		Job No. 1/13/2022		C-1
Drawn HMS		Checked MJR		
Date 6/6/2022		Approved MJR		
No	Date	Revision		
1	6/6/2022	REVISED PLAN		
2	7/13/2022	REVISED PLAN		
3	8/2/2022	REVISED PLAN		
4	9/19/2023	REVISED PLAN		
		<div> Northcoast Civil LAND SURVEYING & CIVIL ENGINEERING</div>		
		39 WEST MAIN STREET OYSTER BAY, NY 11771 (516)922-3031 / F (516)922-7475		