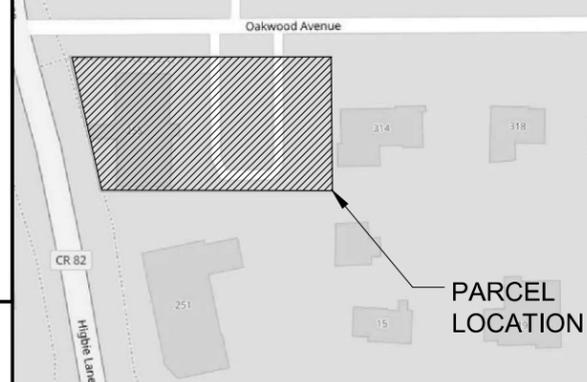


The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

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LOCATION MAP



Architect  
**ENSPIRE DESIGN GROUP, PLLC**  
 4964 EXPRESSWAY DRIVE, SUITE 1  
 RONKONKOMA, NEW YORK, 11779  
 Phone: 631-471-9500 Fax: 631-471-9510  
**MICHAEL F. MORILLO, AIA** - Principal  
 New York State License #25202  
 WWW.ENSPIREPLLC.COM

INFORMATION TAKEN FROM A SURVEY PREPARED BY:  
 PETER J. BRABAZON PLS, P.C.  
 LAND SURVEYOR  
 DATED: 5/23/23  
 430 WEST OLD COUNTRY Rd.  
 HICKSVILLE NY 11801  
 (516) 822-5111

APPLICANT INFORMATION:  
 GOODMAN PHYSICAL THERAPY P.C.  
 255 HIGBIE LANE WEST ISLIP 11795  
 631-244-3421  
 SITE PLAN No. SP2023-007

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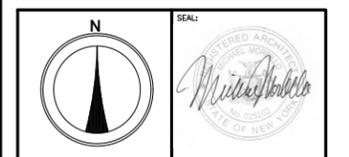
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General Notes

LEGEND

- INLET
- UTILITY POLE
- EXIST. TREE
- DRAINAGE PATH
- PROP. LEACHING POOL (OPEN GRATE)
- PROP. LEACHING POOL (CLOSED GRATE)
- SILT FENCE
- EXIST. SPOT ELEVATION
- PROP. SPOT ELEVATION
- WATER SERVICE
- ELECTRIC SERVICE
- GAS SERVICE
- SEWER SERVICE
- EXIST. UTILITY POLE
- DRAIN FLOW ARROW

No.	Date	Revision Description
3.	10/19/23	Planning board Relaxation
2.	9/19/23	Town Comments
1.	6/23/23	Town Comments



PROJECT TITLE:  
**SITE PLAN FOR GOODMAN PHYSICAL THERAPY P.C.**  
 255 HIGBIE LANE,  
 WEST ISLIP, N.Y. 11795  
 SCTM# 0500-436-3-57

TITLE SHEET:  
**SITE PLAN**

PROJECT NO. **22-105** SHEET NO.  
 DATE: **3/23/23**  
 DESIGN BY: **MICHAEL F. MORILLO, AIA**  
 DRAWN BY: **EG**  
 CHECKED BY: **MPM**  
 SCALE: **1"=20'**

**SP-1**

1 OF 7

ENGINEERING NOTES:

CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.

COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS, ALL UTILITIES SHALL BE INSTALLED BELOW GRADE. OBTAIN A TOWN ROADWAY WORK PERMIT (631-224-5610)

CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERRECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.

PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN, COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.

CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.

ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.

RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) IS TO BE CERTIFIED, DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF SNYCR PART 360, "SOLID WASTE MANAGEMENT FACILITIES."

LOAD TICKETS REQUIRED FOR ALL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE, AND QUALITY OF MATERIALS, ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 2SB.

ALL CONSTRUCTION AND DEMOLITION XPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDC FACILITY, LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.

THE ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P. 5 SHALL BE FOLLOWED.

APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE, THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 5A.75 AND 5A.76 SHALL BE FOLLOWED, CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.

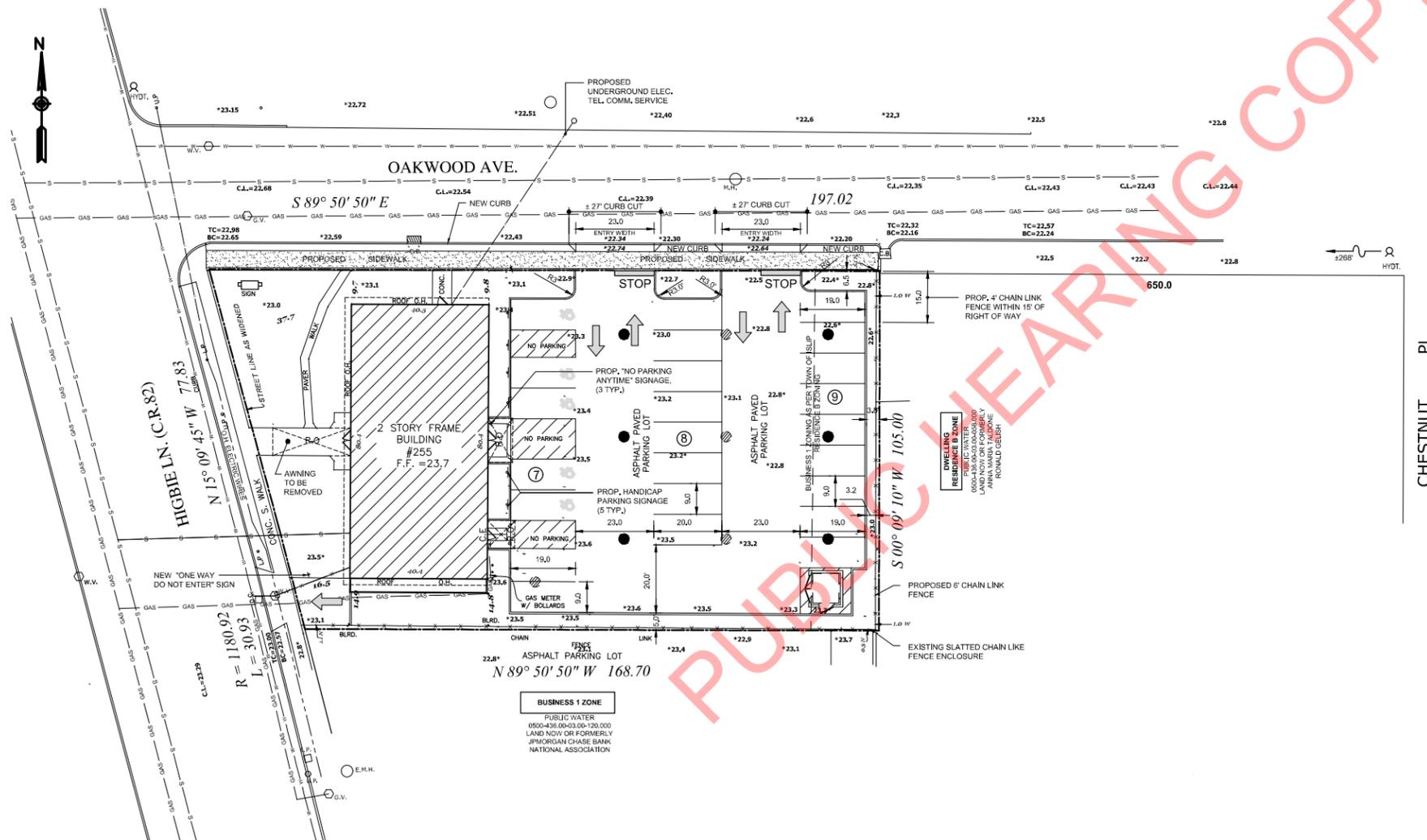
REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATE IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

SITE DATA

SITE AREA	19,180 SQ.FT. (0.44 ACRES)	
ZONED	BUSINESS-1/ RESIDENCE B	
ZONED LOT %	**89.4% BUSINESS-1 / 10.6% RESIDENCE B	
** MARGINAL INCREASE IN RESIDENTIAL ZONING PERCENTAGE TO BE REVIEWED AND INTERPRETED BY THE COMMISSIONER OF PLANING IN CONFORMANCE W/ 68-12C(3)		
DATUM	NAVD88	
SURVEY PREPARED BY	PETER J. BRABAZON PLS, P.C. LAND SURVEYOR (6/23/22)	
BUILDING HEIGHT	24'-10"	
CELLAR AREA (7'-0" HEIGHT) (NO INCLUDED IN FAR)	196 SQ.FT.	
FIRST FLOOR AREA	3,200 SQ.FT.	
SECOND FLOOR AREA	3,200 SQ.FT.	
TOTAL GROSS FLOOR AREA (GFA)	6,400 SQ.FT.	
FLOOR AREA RATIO(FAR)	ALLOWABLE	EXISTING
	40%	33.4%
USE	BUSINESS	
<b>PARKING COMPUTATIONS</b>		
PARKING REQUIRED:		
6,400 S.F. @ 1 STALL/ 150 S.F (MEDICAL) =	43 STALLS	
TOTAL REQUIRED:	43 STALLS	
TOTAL PROVIDED:	24 STALLS	
HANDICAPPED STALL 20% (5) STALLS PROVIDED	** AS PER SECTION 1106 NYSDC 2009 OUTPATIENT PHYSICAL THERAPY FACILITIES	
<b>ON SITE QUANTITIES</b>		
ASPHALT PAVING AREA #1	EXISTING	10,728 S.F.
ASPHALT PAVING AREA #2	EXISTING	660 S.F.
PAVED SIDEWALK	EXISTING	447 S.F.
<b>LANDSCAPING QUANTITIES</b>		
TOTAL LANDSCAPED AREA ** MINUS LANDSCAPING WITHIN 25' BUFFER	REQUIRED	PROVIDED
	3,836 SQ.FT. (20%)	4,307 SQ.FT.
50% REQ'D FRONT YARD LANDSCAPE	1,918 SQ.FT. (50%)	3,047 SQ.FT.
RESIDENTIAL BUFFER	25' FT	4.6' FT.



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