

SITE ALIGNMENT PLAN

1" = 20'

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



CAUTION NOTE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

THIS PLAN IS BASED ON THE SURVEY PREPARED BY MICHAEL MBINTO, L.S.P.C., DATED MARCH 23, 2022 AND MEASUREMENTS PERFORMED BY R&M ENGINEERING.

SITE DATA

SCTM: DIST. 0500, SECT. 419, BLK. 03, LOT 80 & 81
LOT AREA: LOT 81: ±3,481.50 SF (0.0799 AC)
LOT 80: ±1,057.00 SF (0.024 AC)
ZONE: BUSINESS DISTRICT (BD)
EXISTING USE: VACANT, RETAIL, APARTMENTS (2ND FLR.)
PROPOSED USE: RESTAURANT, APARTMENTS (2ND FLR.)
WATER DISTRICT: SUFFOLK COUNTY WATER AUTHORITY (SCWA)
SEWER DISTRICT: SOUTHWEST SEWER DISTRICT (SD-3)
POST OFFICE: BAY SHORE, 11706
FIRE DISTRICT: BAY SHORE FD
SCHOOL DISTRICT: BAY SHORE UFSD
GROUNDWATER ZONE: VII
DATUM: NAVD 1988

ZONING COMPLIANCE TABLE:

BUSINESS DISTRICT (BD)

ITEM	SECTION:	REQUIRED:	EXISTING:
HEIGHT OF BUILDING (MAX.)	\$68-260	35 FT / 3 STY	34 FT
FLOOR AREA RATIO (MAX.)	\$68-261	0.60	1.14 *
LOT AREA (MIN.)	\$68-262	7,500 SF	4,538.5 SF *
LOT WIDTH (MIN.)	\$68-264	100 FT	45.4 FT *
FRONT YARD - MAIN ST. (MIN.)	\$68-265	10 FT	2.1 FT *
SIDE YARD EAST (MIN.)	\$68-266	0 FT	0 FT
SIDE YARD WEST (MIN.)	\$68-266	0 FT	0 FT
REAR YARD (MIN.)	\$68-267	10 FT	24.5 FT

* EXISTING NON-CONFORMANCE

GROSS FLOOR AREA

	EXISTING:	PROPOSED:
1ST FLOOR AREA: (LOT 80)	451.00 SF	451.00 SF
1ST FLOOR AREA: (LOT 81)	2,352.00 SF	2,352.00 SF
2ND FLOOR AREA: (LOT 81)	2,352.00 SF	2,352.00 SF
TOTAL GROSS FLOOR AREA:	5,155.00 SF	5,155.00 SF

* REFER TO FLOOR PLANS PREPARED BY BOULIER PFLUGER ARCHITECTS P.C. FOR ADDITIONAL INFORMATION.

LOT COVERAGE

	EXISTING:	PROPOSED:
ROOF AREA	3,055 SF / 67.31%	3,172 SF / 69.89%
IMPERVIOUS AREA	1,448.5 SF / 31.92%	1,331.5 SF / 29.34%
LANDSCAPE AREA	35 SF / 0.77%	35 SF / 0.77%
TOTAL AREA	4,538.5 SF / 100.00%	4,538.5 SF / 100.00%

PARKING CALCULATIONS

PARKING REQUIRED

1ST FLOOR
TENANT 1 RESTAURANT: 80 SEATS @ 1 STALL / 2 SEATS = 40.00 STALLS
(GREATER OF) 2,803 SF @ 1 STALL / 100 SF GFA = 28.03 STALLS
(GREATER OF) 95 OCC. @ 1 STALL / 4 OCC. = 23.75 STALLS

2ND FLOOR
APARTMENTS: 5 UNITS @ 1.75 STALLS/UNIT = 8.75 STALLS

MEZZANINE LEVEL
STORAGE AREA (RESTAURANT USE) 518 SF AREA @ 1 STALL / 100 SF = 5.18 STALLS

ADDITIONAL REQUIREMENT
TENANT 1 BAR AREA 75 SF BAR AREA @ 1 STALL / 12 SF = 6.25 STALLS

TOTAL PARKING REQUIRED = 60.18 STALLS
61 STALLS

OCC. = # OCCUPANTS

* REFER TO FLOOR PLANS PREPARED BY BOULIER PFLUGER ARCHITECTS P.C. FOR ADDITIONAL INFORMATION.

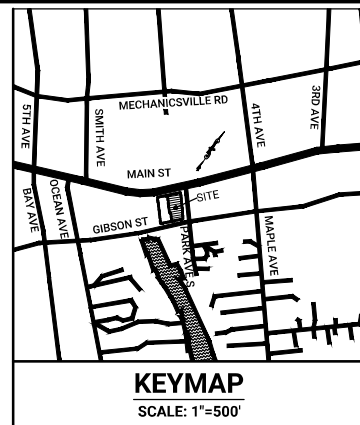
PARKING PROVIDED:

PARKING RELAXATION REQUIRED.

MUNICIPAL PARKING PROVIDED, REFER TO PARKING ANALYSIS PREPARED BY R&M ENGINEERING FOR ADDITIONAL INFORMATION.

GENERAL PLANTING NOTES:

- PRIOR TO ANY EXCAVATION, THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THE LOCATION OF EXISTING SUBSURFACE UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES AND COORDINATE WITH THE GRADING, DRAINAGE AND UTILITY PLANS FOR THE LOCATION OF EXISTING/PROPOSED SUBSURFACE UTILITY LINES AND STRUCTURES. NOTIFY THE DESIGN PROFESSIONAL IF ANY CONFLICTS EXISTS.
- ANY SUPPLIED AND INSTALLED PLANT MATERIAL SHALL BE NURSERY GROWN STOCK IN ACCORDANCE WITH THE LATEST EDITION OF THE 'AMERICAN STANDARD FOR NURSERY STOCK' (ANSI Z60.1).
THE CALIPER SIZE OF DECIDUOUS TREES IS TO BE MEASURED AS PER THE TOWN OF ISLIP REQUIREMENT OF A MINIMUM 2" CALIPER MEASURED AT DIAMETER AT BREAST HEIGHT (DBH).
TREES SHALL BE HEALTHY, VIGOROUS, WELL ROOTED, OF SYMMETRICAL GROWTH, FREE OF INSECTS, PESTS AND DISEASE. SUBSTITUTIONS MUST BE APPROVED IN WRITING.
ANY DECIDUOUS TREES ARE TO BE SPECIMEN QUALITY, SYMMETRICAL, WITH SINGLE STRAIGHT LEADER AND BE GROWN ON THEIR OWN ROOTS. GRAFTED TREES OR TREES WITH TWO OR MORE LEADERS WILL BE REJECTED, ALL DECIDUOUS TREES SHALL BE BRANCHED NOT LOWER THAN SEVEN (7) FEET.
ANY EVERGREEN TREES ARE TO BE SPECIMEN QUALITY, SYMMETRICAL, FULL AND DENSE AND BRANCHED TO THE GROUND.
- IF DISCREPANCY EXISTS BETWEEN THE PLANT COUNT SHOWN IN THE PLANT MATERIAL LIST 1 PLANTING SCHEDULE AND THE PLANTING PLAN, THE PLAN SHALL TAKE PRECEDENCE FOR PLANT QUANTITY.
- PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THEY BORE TO THE EXISTING GRADE IN THE NURSERY.
- REMOVE ALL ROPE AND NON-Biodegradable MATERIAL. REMOVE AS MUCH BURLAP AS POSSIBLE WITHOUT DISTURBING PLACEMENT OR DAMAGING THE ROOT BALL.
- ALL PLANTING BED ARE TO RECEIVE A 3" LAYER OF SHREDDED BARK MULCH OVER A WEED BARRIER. ROOT FLARES OF PLANT MATERIAL SHALL BE VISIBLE AFTER INSTALLATION. DO NOT PLACE MULCH DIRECTLY AGAINST ROOT FLARE/TRUNKS OF TREES.
- ANY PLANT MATERIAL SHALL BE MAINTAINED WITH FERTILIZER AND OTHER REQUIRED MATERIALS TO PROVIDE A NEAT AND HEALTHY APPEARANCE. ANY PLANT NOT SO MAINTAINED THAT BECOMES DISEASED AND DIES SHALL BE REPLACED WITH A HEALTHY NEW PLANT OF THE SAME SPECIES AND SIZE IMMEDIATELY DURING THE CURRENT GROWING SEASON OR AT THE BEGINNING OF THE NEXT GROWING SEASON, THE OWNER IS RESPONSIBLE FOR THE REPLACEMENT OF ANY PLANT MATERIAL DEAD, DYING OR DISEASED.
- ANY PLANTING AREAS SHALL BE CULTIVATED, RAKED AND LEFT IN A NEAT ORDERLY CONDITION. ALL DISTURBED LANDSCAPE AREAS NOT RECEIVING SPECIFIED PLANT MATERIAL ARE TO BE RESTORED WITH SIX (6) INCHES OF TOPSOIL AND SEED. PROVIDE SUFFICIENT IRRIGATION TO ESTABLISH AND MAINTAIN A HEALTHY STAND OF GRASS.
- ANY LANDSCAPED AND LAWN AREAS SHALL BE MAINTAINED WITH A PERMANENT IN-GROUND IRRIGATION SYSTEM, INCLUDING A RAIN SENSOR OVERRIDE AND MULTI-ZONE CONTROLLER, CAPABLE OF PROVIDING VARYING AMOUNTS OF WATER TO MULTIPLE AREAS DEPENDING ON THE REQUIREMENTS OF THE VARIOUS TREES, SHRUBS, GROUND COVERS AND LAWN AREAS.
- TREE STAKES AND ANY OTHER PLANTING GUIDE MATERIAL SHALL BE REMOVED AFTER ONE YEAR FROM THE TIME OF PLANTING.
- ALL OTHER TOWN OF ISLIP LANDSCAPE REQUIREMENTS DESCRIBED IN SECTION "Q" OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SHALL BE FOLLOWED.
- ANY PLANT MATERIAL GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE BY OWNER.
- ANY PLANTING BEDS TO RECEIVE 6" OF SCREENED TOPSOIL PRIOR TO PLANT INSTALLATION.
- NO PLANT MATERIAL, EXCEPT LAWN OR GROUND COVER, IS TO BE LOCATED WITHIN 2' OF ANY PARKING LOT CURBS.



LEGEND

— (XXX) —	EXISTING CONTOURS	— (XXX) —	EXISTING MANHOLE TO REMAIN
— (XXX) —	PROPOSED CONTOURS	— (XXX) —	EXISTING HYDRANT TO REMAIN
— (XXX) —	DEMOLITION CONTOURS	— (XXX) —	EXISTING UTILITY POLE
— (XXX) —	PROPOSED CONCRETE CURB	— (XXX) —	EXISTING SIGN
— (XXX) —	EXISTING CURB TO BE REMOVED	— (XXX) —	PROPOSED SIGN
— (XXX) —	EXISTING CURB	— (XXX) —	PROPOSED TOP OF CURB ELEV.
— (XXX) —	EXISTING SANITARY SEWER	— (XXX) —	PROPOSED BOTTOM OF CURB ELEV.
— (XXX) —	EXISTING WATER MAIN	— (XXX) —	PROPOSED LANDSCAPE MAIN
— (XXX) —	EXISTING ELECTRIC SERVICE	— (XXX) —	PROPOSED PAVEMENT ELEV.
— (XXX) —	EXISTING TELEPHONE SERVICE	— (XXX) —	PROPOSED WALKWAY ELEV.
— (XXX) —	EXISTING GAS MAIN	— (XXX) —	EXISTING DOOR
— (XXX) —	EXISTING OVERHEAD WIRE	— (XXX) —	PROPOSED BOLLARD
— (XXX) —	EXISTING FENCE	— (XXX) —	PROPOSED ASPHALT
— (XXX) —	PROPOSED SANITARY SEWER	— (XXX) —	PROPOSED CONCRETE WALK
— (XXX) —	PROPOSED WATER MAIN	— (XXX) —	PROPOSED EASEMENT AREA
— (XXX) —	PROPOSED ELECTRIC SERVICE	— (XXX) —	PROPOSED GREASE TRAP
— (XXX) —	PROPOSED TELEPHONE SERVICE	— (XXX) —	PROPOSED SEWER ACCESS PORT / SAMPLE RETENTION AREA MANHOLE
— (XXX) —	PROPOSED GAS MAIN	— (XXX) —	PROPOSED PATIO / BRICK MOW STRIP AREA
— (XXX) —	PROPOSED STOCKADE FENCE	— (XXX) —	

SITE ALIGNMENT PLAN

TULLULAH'S RESTAURANT

56 & 60 WEST MAIN STREET

SITUATED IN
BAY SHORE
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK

SCTM: DISTRICT 0500, SECTION 419, BLOCK 03, LOT 80 & 81



Robinson & Muller
Engineers, P.C.
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Huntington, NY 11743
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Fax: (631) 271-0592
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No.	REVISION DESCRIPTION	DATE	BY

OWNER/APPLICANT:
TULLULAH'S RESTAURANT
56 W MAIN STREET
BAY SHORE, NY 11706
C/O STEVEN SCALESE
P: (631) 872-9162
E: TENFOURTH@GMAIL.COM

THIS
DRAWING IS
PRELIMINARY
AND MAY NOT
BE USED FOR
CONSTRUCTION
PURPOSES

DWN. BY: DJG CHKD. BY: DJG SCALE: 1"=20' SHEET: SP-2
DATE: 07-31-2023 DATE: 09-15-2023 JOB No.: 2023-109