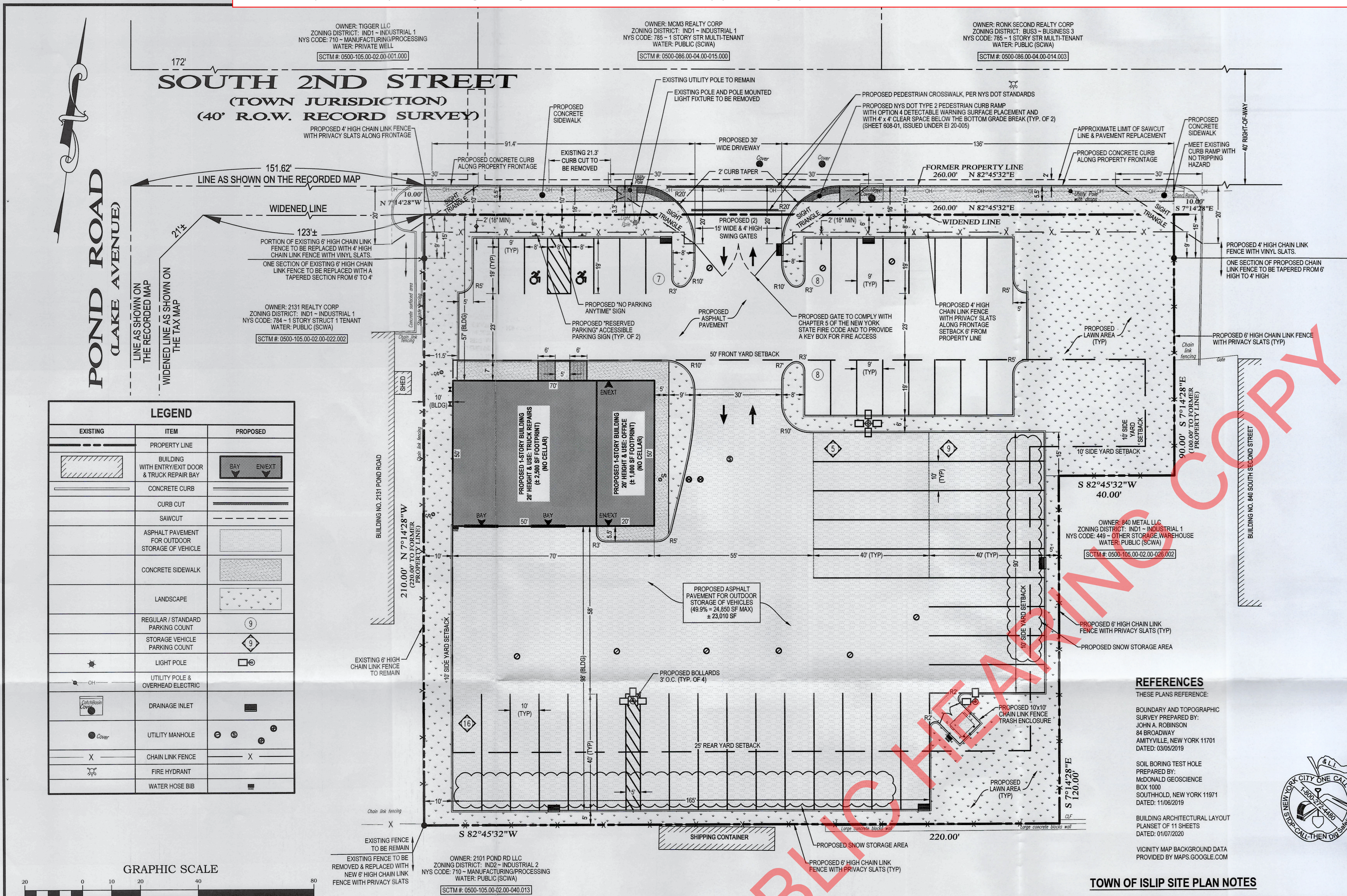


The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



- ### GENERAL SITE NOTES
- UNDESIRABLE MATERIAL, CONSTRUCTION DEBRIS, EXCESS SOILS, ETC. SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
 - THE CONTRACTOR IS RESPONSIBLE TO TAKE EROSION CONTROL MEASURES NECESSARY IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL, TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT ROADWAYS AND PROPERTIES.
 - ALL ON-SITE CONCRETE SHALL BE IN CONFORMANCE WITH ACI PROVISIONS. ALL CURBING SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
 - RELOCATION AND/OR REMOVAL OF EXISTING UTILITY POLES, TRAFFIC SIGNS, ETC. SHALL BE COORDINATED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FIELD-VERIFYING THEIR PRESENCE.
 - WORK WITHIN THE R.O.W. OF SOUTH 2ND STREET SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE TOWN OF ISLIP, SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 - ALL TRAFFIC CONTROL DEVICES, I.E. SIGNALS, SIGNS, AND PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE GUIDELINES OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DIRECTED BY THE TOWN OF ISLIP, DIVISION OF TRAFFIC SAFETY. ALL PAVEMENT MARKINGS REQUIRED SHALL BE THERMOPLASTIC NYSDOT SPECIFICATIONS UNLESS OTHERWISE NOTED ON PLAN.
 - CONTRACTOR SHALL SAWCUT TO THE FULL DEPTH OF EXISTING PAVEMENT WITH A STRAIGHT VERTICAL EDGE FREE FROM IRREGULARITIES WHEREVER NEW PAVEMENT JOINS EXISTING PAVEMENT. CONTRACTOR SHALL DETERMINE EXACT LOCATION AND EXTENT OF THE REQUIRED SAWCUTTING IN ORDER TO PERFORM THE WORKSCOPE DEPICTED ON THE PLANS. TWO FT MINIMUM FROM CURBS, PADS, WALKS, AND WALLS TO PERMIT PROPER COMPACTION OF THE REPLACED SURFACES.
 - REMOVAL, INCLUDES, BUT IS NOT LIMITED TO, CURBING, PAVEMENT, UNDESIRABLE MATERIALS, AND UNDERGROUND PIPING. QUESTIONABLE ITEMS ENCOUNTERED (ABOVE AND/OR BELOW GRADE) SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD IMMEDIATELY IN WRITING BEFORE REMOVAL OR DISTURBANCE.
 - THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO EXISTING FOUNDATIONS AND OTHER STRUCTURES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF EXPOSED AND/OR BELOW GRADE FOUNDATIONS/WALLS/SIDEWALKS AND PAVEMENT TO REMAIN, AND SHALL PROVIDE A SAFE WORK AREA. ANY DAMAGE OR DISTURBANCE DUE TO SUBJECT WORKSCOPE SHALL BE REPAIRED TO LIKE-KIND CONDITIONS AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES. ANY TRAFFIC CONTROL, ACCESS, AND SAFETY PROVISIONS WITHIN THE R.O.W. AND ACCESS ROUTES (E.G. ACCESSIBLE RAMPS, PEDESTRIAN CROSOWALKS, SIDEWALKS, PAVEMENT STRIPES, ETC.) SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL DETERMINE APPROPRIATENESS OF REMOVAL ACTIVITIES AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL PERMANENT COMPONENTS/REPLACEMENTS CAN BE INSTALLED.
 - IF SHORING AT A DEPTH GREATER THAN 5' IS REQUIRED TO ACCOMMODATE CONSTRUCTION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RETAIN A LICENSED PROFESSIONAL ENGINEER TO DESIGN THE REQUIRED SHEETING AND SHORING DETAILS. SHEETING SHALL BE IN CONFORMANCE WITH OSHA REQUIREMENTS.
 - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THE SAFETY OF ITS EMPLOYEES, THE GENERAL PUBLIC, STRUCTURES TO REMAIN, ADJACENT PROPERTIES, PUBLIC R.O.W.'S, ETC. DURING ALL CONSTRUCTION AND REMOVAL ACTIVITIES IN ACCORDANCE WITH FEDERAL, STATE, COUNTY AND LOCAL CODES AND REGULATIONS. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITIES FOR THE CONTRACTOR'S SAFETY PROGRAMS & PROCEDURES IN CONNECTION WITH THE WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, SIZE, TYPE, AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC. PRIOR TO THE START OF ANY WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IN WRITING IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS, ABOVEGROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND RECORD DRAWINGS AVAILABLE AT THE TIME OF THE SURVEY AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTION WITH THE APPLICABLE UTILITY COMPANIES PRIOR TO REMOVAL ACTIVITIES. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE REMOVAL OF STRUCTURES AND FOUNDATIONS WITH SOIL CONSISTING OF MATERIALS FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED SHALL NOT BE LARGER THAN 6 INCHES IN DIMENSION. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERLIE ALL NECESSARY ACTIONS IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 90% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE. REFER TO GEOTECHNICAL REPORT (IF PROVIDED) FOR FURTHER RECOMMENDATIONS. REFER TO GRADING PLAN FOR PROPOSED SURFACE ELEVATIONS.
 - UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, SHALL BE EMPTIED, CLEANED AND REMOVED FROM THE SITE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING MATERIALS AND INSTALLATION OF PROPOSED WORK. FOR OBTAINING THE REQUIRED PERMITS, SIGN OFFS, AND CONSTRUCTION INSPECTIONS, ACCORDING TO GOVERNING BUILDING CODES AND DISPOSAL OF ALL MATERIAL IN ACCORDANCE WITH STATE AND LOCAL LAW.
 - SIDEWALKS, CURBS, OR OTHER EXISTING SITE APPURTENANCES DAMAGED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED IN KIND OR UNLESS NOTED OTHERWISE (UNO), WHETHER SPECIFIED ON THIS PLAN OR NOT, AT THE SOLE COST OF THE CONTRACTOR.
 - THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS.
 - SEQUENCE AND COORDINATION OF CONSTRUCTION IS SOLELY THE CONTRACTOR'S RESPONSIBILITY.
 - PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN A TOWN OF ISLIP RIGHT-OF-WAY THE APPLICANT/OWNER/ENGINEER/CONTRACTOR MUST OBTAIN A RIGHT-OF-WAY WORK PERMIT FROM THE TOWN OF ISLIP DEPARTMENT OF PUBLIC WORKS.
 - ANY UTILITIES INCLUDING POLES REQUIRED TO BE RELOCATED DUE TO THE INSTALLATION OF THE REQUIRED IMPROVEMENTS SHALL BE RELOCATED AT THE EXPENSE OF THE APPLICANT/OWNER/ENGINEER/CONTRACTOR.
 - ALL TRAFFIC ROAD MARKINGS, ROAD SIGNS, AND LIGHT SIGNALS THAT MAY HAVE BEEN MOVED OR DAMAGED IN THE PROCESS OF CONSTRUCTION SHALL BE RESTORED AT THE APPLICANT'S EXPENSE TO AT LEAST THE SAME QUALITY AND CHARACTERISTICS THAT EXISTED BEFORE CONSTRUCTION BEGAN. THE APPLICANT SHALL BE FULLY RESPONSIBLE AND ENSURE THAT, IN THE ROADWAYS ADJACENT TO THE CONSTRUCTION SITE, THESE MARKINGS, SIGNS AND SIGNALS, ARE MAINTAINED DURING THE ENTIRE PERIOD OF CONSTRUCTION. IF REPLACEMENT OR UPGRADE IS REQUIRED, SAME MUST BE APPROVED BY THE TOWN OF ISLIP DEPARTMENT OF ENGINEERING SERVICES, DIVISION OF TRAFFIC SAFETY AND TRANSPORTATION PLANNING.
 - ALL ACCESSIBLE PARKING, CURB RAMPS, AND OTHER APPURTENANCES OF ACCESSIBLE ROUTES ARE TO MEET THE REQUIREMENTS OF THE 2010 CODE CHAPTER 11-ACCESSIBILITY ADOPTED BY NEW YORK STATE, THE 2016 UNIFORM CODE SUPPLEMENT, AND ICC/ANSI A117.1 - 2009.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODE.
 - THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST O.S.H.A. STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF O.S.H.A., AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
 - THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEAN-OUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS, IMMEDIATELY NOTIFY THE PROJECT ENGINEER IN WRITING OF ANY CONFLICTS.
 - CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO PROJECT ENGINEER AND OWNER PRIOR TO INITIATING WORK.
 - CONTRACTOR SHALL DOCUMENT, WITH PHOTOS, CRITICAL STAGES OF CONSTRUCTION AND PROVIDE TO ENGINEER OF RECORD AT END OF CONSTRUCTION.
 - THE CONTRACTOR SHALL PERFORM THE WORK AS SHOWN ON THE PLANS AND SPECIFIED HEREIN. THE PLANS SHOW THE GENERAL SCOPE OF THE WORK AND DO NOT NECESSARILY SHOW ALL DETAILS REQUIRED FOR COMPLETE FINISHED WORKING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS AND LABOR AS NECESSARY FOR THE CONSTRUCTION OF COMPLETE WORKING SYSTEMS.
 - ELECTRICAL WORK SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
 - ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORK DAY OR PROTECTED WITH TEMPORARY FENCING IN COMPLIANCE WITH OSHA REQUIREMENTS.
 - SIGNS TO BE FILED UNDER SEPARATE APPLICATIONS BY OTHERS.

BULK ZONING TABLE

EXISTING ZONING DISTRICT: INDUSTRIAL 1 (IND1)

ITEM	SECTION	PERMITTED/REQUIRED	PROPOSED
PERMITTED USES	§ 68-338	(A) OFFICE	(A) OFFICE
USES PERMITTED BY SPECIAL PERMIT FROM PLANNING BOARD	§ 68-340.1	(B) VEHICLE REPAIR SHOP (C) OUTDOOR PARKING OF REGISTERED VEHICLES WITH NON-PREDOMINANCE (LESS THAN 50% OF LOT)	(B) VEHICLE REPAIR SHOP (C) OUTDOOR PARKING W/ MINIMUM LOT STORAGE OF 40.9% (24,850 SF / 49,800 SF)
ARTICLE XXV	USE DISTRICT REGULATIONS: INDUSTRIAL 1 DISTRICT		
MAXIMUM BUILDING HEIGHT	§ 68-343	(A) 60' / 4 STORIES	20' / 1-STORY
MAXIMUM FLOOR AREA	§ 68-344-A	0.35 (WITH ADDITIONAL 0.10 FOR MEZZANINES) 17,430 SF (4,980 SF FOR MEZZANINES) PERMITTED	0.07 FAR PROPOSED (3,500 SF)
MINIMUM LOT AREA	§ 68-345	20,000 SF	49,800 SF (1.14 ACRES)
MINIMUM LOT WIDTH	§ 68-346 § 478-PART2 ART-12	100' THROUGHOUT ALL "WIDTHS" SHALL BE NET, MEASURED TO OR FROM THE SIDES OF STREETS, ALLEYS, OR RIGHTS-OF-WAY.	COMPLIES
MINIMUM FRONT YARD	§ 68-347-A	50' PERMITTED	57' PROVIDED
MINIMUM SIDE YARD	§ 68-348	10' FOR EACH SIDE YARD 50' FOR ADJOINING RESIDENTIAL USES OR DISTRICTS	10'
MINIMUM REAR YARD	§ 68-349	25' FOR MAIN BUILDINGS 10' FOR ACCESSORY BUILDINGS	98' FOR MAIN BUILDINGS NO ACCESSORY BUILDINGS
ENCROACHMENTS	§ 68-350	NO ENCROACHMENTS ARE PERMITTED	COMPLIES
ARTICLE XXX	SIGHT OBSTRUCTIONS, FENCES AND WALLS		

SIGHT OBSTRUCTIONS	§ 68-404 & Figure 404	VISUAL OBSTRUCTIONS WITHIN SIGHT TRIANGLES ARE NOT PERMITTED AT STREET INTERSECTIONS OR DRIVEWAYS. OBSTRUCTIONS SHALL INCLUDE: ANY SIGN, HEDGE, FENCE, SHRUBBERY, FOLIAGE, AUTOMOBILE OR OTHER OBJECT, WHICH IS HIGHER THAN 3' AND LOWER THAN 8' ABOVE THE ADJACENT EDGE OF PAVEMENT. OBSTRUCTIONS SHALL NOT INCLUDE: EXISTING BUILDINGS, PUBLIC UTILITY POLES, TRAFFIC CONTROL DEVICES, NATURAL GRADES, SIGN POSTS OR SMALL TREES (12" DIA. OR 38" CIRCUMFERENCE)	COMPLIES
SIGHT TRIANGLES	§ 68-405 (A) & (B) & Figure 405	(A) INTERSECTING STREETS ALL CORNERS 30' FROM ACTUAL OR PROJECTED INTERSECTION OF THE PAVEMENT EDGES (B) INTERSECTING STREETS AT DRIVEWAYS 30' BY 20' DEEP DRIVEWAY LEG LENGTH	COMPLIES
FENCES AND WALLS	§ 68-406-A § 68-406-B § 68-406-C § 68-406-D	6 FT MAX. HEIGHT ABOVE THE GROUND, HOWEVER 8 FT MAX. FOR OPEN CHAIN LINK FENCES (OR FENCES THAT DO NOT RESTRICT VISIBILITY MORE THAN 15%) 4 FT MAX. HEIGHT ABOVE THE GROUND, WITHIN 15' FT OF STREET PROPERTY LINE. 3 FT MAX. HEIGHT ABOVE ADJACENT PAVEMENT EDGE, FOR ALL FENCES, WALLS, OR OBSTRUCTIONS, WHEN: (1) LOCATED WITHIN SIGHT TRIANGLE, OR (2) SETBACK LESS THAN 8 FT FROM ANY STREET PAVEMENT EDGE. NO GATE SHALL OPEN INTO ANY STREET.	COMPLIES COMPLIES N/A COMPLIES
SOLDR	TOWN OF ISLIP - SUBDIVISION AND LAND DEVELOPMENT REGULATIONS		
DUMPSTERS	SOLDR VI-K	(1) DUMPSTERS SHALL BE SCREENED FROM VIEW, WITH PLANTINGS DIRECTED BY DEPARTMENT OF PLANNING. (2) DUMPSTER ENCLOSURE SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DETAIL SHOWN IN APPENDIX C, AND SHOULD BE A MASONRY STRUCTURE THAT COMPLIMENTS OTHER SITE ARCHITECTURAL ELEMENTS.	COMPLIES
LOT DEVELOPMENT	SOLDR VI-N	(4) TO AVOID BOTTOMING OF VEHICLES DURING INGRESS AND EGRESS, DRIVEWAY GRADIENT SLOPE MUST BE BETWEEN 1% AND 8%.	COMPLIES
LANDSCAPE DESIGN COMMERCIAL STANDARDS	SOLDR VI-Q-3.1	(1) 20% MIN. LOT AREA LANDSCAPED (9,960 SF MINIMUM REQUIRED) (2) 50% MIN. OF LANDSCAPE LOCATED WITHIN FRONT YARD (4,980 SF MINIMUM REQUIRED) (3) 8 FT MIN. LANDSCAPE DEPTH AREA ALONG ALL STREET FRONTS	24.19% PROVIDED LANDSCAPE (12,046 SF / 49,800 SF) 52.87% PROVIDED LANDSCAPE (5,286 SF / 9,960 SF) COMPLIES
TREES	SOLDR VI-Q-3.5	PERIMETER BUILDING AND PARKING LOT REQUIREMENTS SHALL INCLUDE THE FOLLOWING: (a) 20 FT MAX. O.C. TREES ON STREET FRONTS (b) ALL PARKING AREAS, LOADING AREAS, DUMPSTERS AND STORAGE AREAS SHALL BE SCREENED FROM VIEW THROUGH SCREEN PLANTINGS, A HEDGE, DECORATIVE FENCE / WALL OR BERM. (c) 5 FT MIN. LANDSCAPE REQUIRED BETWEEN THE PROPERTY LINE AND ANY ANTERIOR PARKING FACILITIES.	(a) 9 TREES PROPOSED (b) SCREENING PROPOSED (c) COMPLIES
SCREENING	SOLDR VI-Q-3.5		
LANDSCAPE	SOLDR VI-Q-3.5		
IN-GROUND IRRIGATION SYSTEM	SOLDR VI-Q-3.5	IN-GROUND IRRIGATION SYSTEM IS REQUIRED ALONG ENTIRE ROAD FRONTAGE	COMPLIES
SOLDR	TOWN OF ISLIP SUBDIVISION & LAND DEVELOPMENT REGULATIONS		

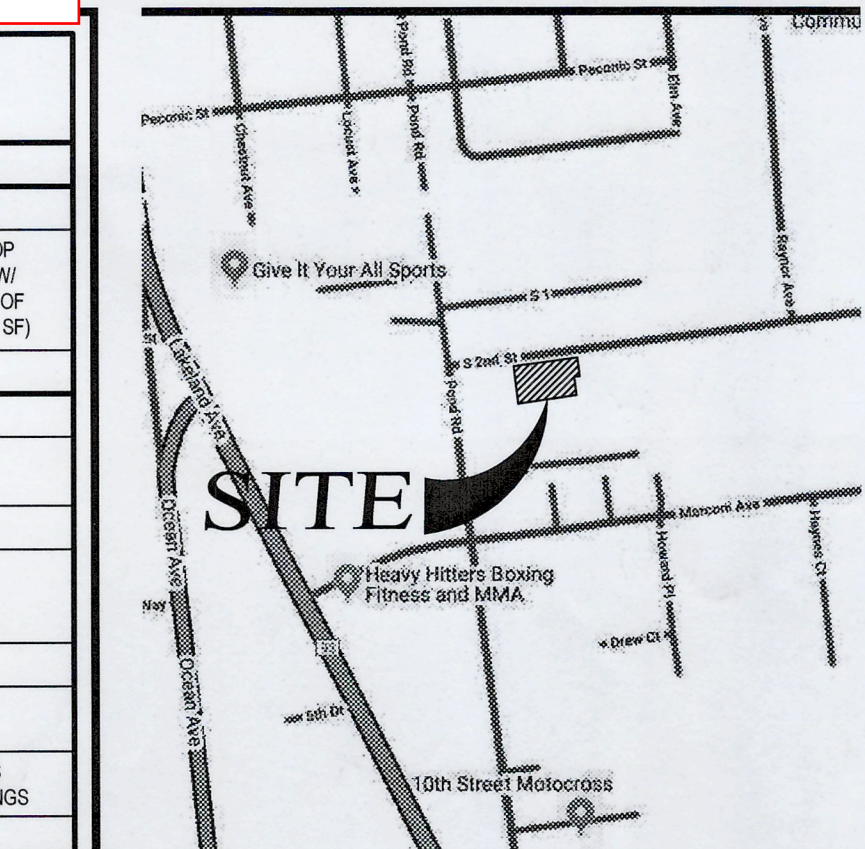
SITE LAYOUT & PARKING CALCULATIONS

ITEM	SECTION	PERMITTED/REQUIRED	PROVIDED
ARTICLE XXIII	USE DISTRICT REGULATIONS: INDUSTRIAL DISTRICTS GENERALLY		
SITE IMPROVEMENTS	SOLDR APPENDIX C 6.8.9	CURB CUTS FOR PARKING FIELDS: MINIMUM OF 30' WIDE AT PROPERTY LINE / CURB RETURN	30' WIDE CURB CUT
PARKING	REQUIREMENTS & CALCULATIONS		
HANDICAPPED PARKING	IBC NYS 1106.1	(1) TOTAL SPACES PROVIDED = 26 TO 50 (2) REQ. MIN. ACCESSIBLE SPACES = 2	2 ADA SPACES WITH ADJACENT 8' WIDE ACCESS AISLE
MINIMUM NUMBER OF PARKING SPACES	SOLDR APPENDIX E 7.8.21	OFFICE = (1 STALL / 200 SF GFA) * (1,000 SF) = 5 SPACES REPAIR SHOP = (1 STALL / 200 SF GFA) * (2,500 SF) = 12.5 SPACES = (12.5 SPACES) * (5 SPACES MIN) = 18 SPACES TOTAL REQUIRED = 5 SPACES + 18 SPACES = 23 SPACES	23 REGULAR / 2 STDND PARKING SPACES PROVIDED (2 ADA SPACES INCLUDED) 30 STORAGE VEHICLES OUTDOOR STORAGE SPACES PROVIDED
MINIMUM AISLE WIDTH & STALL SIZE	SOLDR VI-L-1	23 WITH 90° PARKING 9' x 19' STALL SIZE 20 WITH 90° PARKING 10' x 19' STALL SIZE	23 MIN. AISLE WIDTH 9' x 19' STALL SIZE 10' x 40' CARTING STALL SIZE
SOLDR	2015 INTERNATIONAL BUILDING CODE (AS ADOPTED BY NEW YORK STATE) TOWN OF ISLIP - SUBDIVISION & LAND DEVELOPMENT REGULATIONS STDND STANDARD		

TOWN OF ISLIP SITE PLAN NOTES

- CONTACT THE ENGINEERING INSPECTOR (831-224-5390) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
- OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (831-224-5610).
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN, COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (831-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSCED REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (CAD) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF NYCFCR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28S.
- ALL CONSTRUCTION & DEMOLITION MATERIAL, EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSCED FACILITY. LOADTRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 9A.2 AND 9A.8. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

PROPOSED DEVELOPMENT TO COMPLY WITH THE TOWN OF ISLIP PLANNING BOARD SPECIAL PERMIT CONDITIONS 1-18, AS RESOLVED AND APPROVED UNDER PB2019-030, DATED OCTOBER 3, 2019.



VICINITY MAP

N.T.S.

PROJECT DATA

APPLICANT/OWNER: GATLAS ENTERPRISES, INC.
549 CENTRAL AVENUE
MASSAPEQUA, NEW YORK 11758
CONTACT: STEPHANIE GALLONE
PHONE: (516) 965-9126
EMAIL: SGALLONE1@GMAIL.COM

TAX MAP NUMBER: DIST. 500, SECT. 105, BLOCK 2, LOT 25.2
SITE AREA: 49,800 SF (1.14 ACRES) WITH TAKING 52,400 SF (1.20 ACRES) WITHOUT TAKING

CURRENT ZONING: INDUSTRIAL 1 (IND1)
PROPOSED USE: § 68-338, PERMITTED USES:
(A) OFFICE
(B) VEHICLE REPAIR SHOP
(C) OUTDOOR PARKING STORAGE

PROPOSED FOOTPRINT: 3,500 SF
GROSS FLOOR AREA: OFFICE: 1,000 SF
(WITH AREA BREAKDOWN) VEHICLE REPAIR SHOP: 2,500 SF
TOTAL: 3,500 SF
LANDSCAPE/NATURAL AREA: 12,046 SF
PAVEMENT/CONCRETE AREA: 34,254 SF

NO.	DATE	BY	DESCRIPTION
6	09/25/2020	LM	REV. PER TOWN PLANNING DEPT. LETTER DATED 08/19/2020
5	05/09/2020	LM	REV. PER 05/05/2020 TOWN ENGR CMTS AND PER 04/07/2020 SCDCS WMM CMTS
4	02/05/2020	LM	SUBMISSION TO TOWN OF ISLIP ENGINEERING
3	09/30/2019	LM	REV. PER 09/26/19 MTO
2	08/23/2019	LM	REV. PER 07/22/19 TOWN CMTS ADJ FENCE HEIGHT
1	07/31/2019	LM	REV. PER 07/26/19 TOWN CMTS

REVISIONS

KEY

CIVIL ENGINEERING

854 BLUE POINT ROAD, UNIT B
HOLTSVILLE, NEW YORK 11742
(831) 851-0506
www.KeyCivilEngineering.com

PROPOSED OUTDOOR STORAGE OF REGISTERED VEHICLES

0 SOUTH 2ND STREET, RONKONKOMA, NY 11779
TOWN OF ISLIP, COUNTY OF SUFFOLK
DIST. 500, SECT. 105, BLOCK 2, LOT 25.2
ZONE: INDUSTRIAL 1 (IND1)
TOWN OF ISLIP # SP2020-007

SITE PLAN

DATE: 04/16/2019
SCALE: 1" = 20'
PROJECT NUMBER: 18193
DRAWING BY: LM
CHECKED BY: YT
APPROVED BY: JP

SEAL & SIGNATURE: JACLYN PERANTEAU, P.E.
NEW YORK STATE PROFESSIONAL ENGINEER #083937

DRAWING NO: C-1
PAGE NO: 1 OF 8