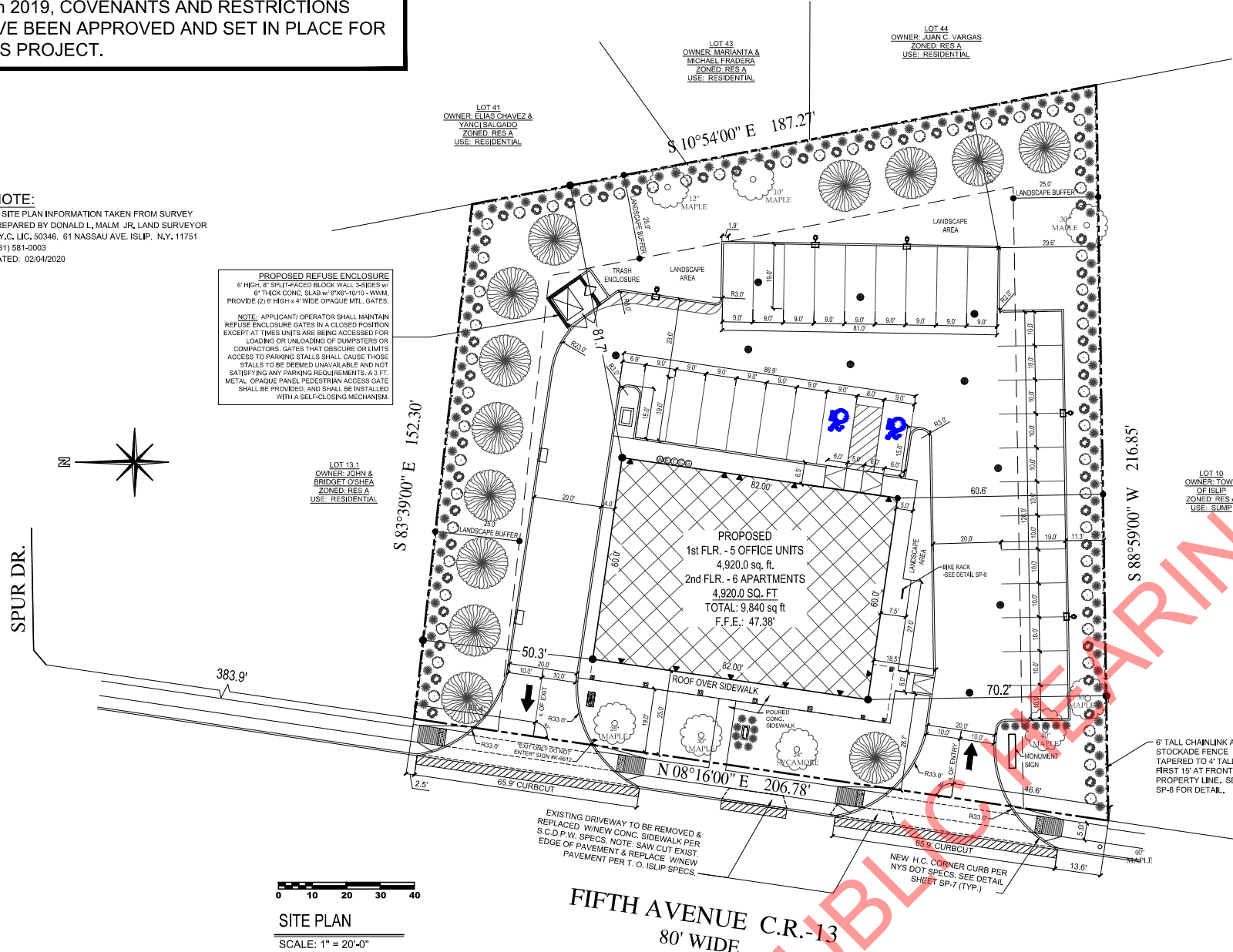


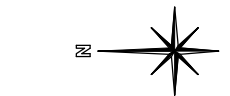
NOTE:
UNDER C.Z. 2019-011 APPROVED ON NOVEMBER 25th 2019, THIS PROJECT HAS BEEN APPROVED FOR A CHANGE OF ZONING FROM "RESIDENCE A" TO "GENERAL SERVICE DISTRICT T".
UNDER T.C. 5334, APPROVED ON NOVEMBER 25th 2019, COVENANTS AND RESTRICTIONS HAVE BEEN APPROVED AND SET IN PLACE FOR THIS PROJECT.

NOTE:
1. SITE PLAN INFORMATION TAKEN FROM SURVEY PREPARED BY DONALD L. MALM JR. LAND SURVEYOR N.Y.C. LIC. 90346, 61 NASSAU AVE. ISLIP, N.Y. 11751 (631) 581-0003
DATED: 02/04/2020

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

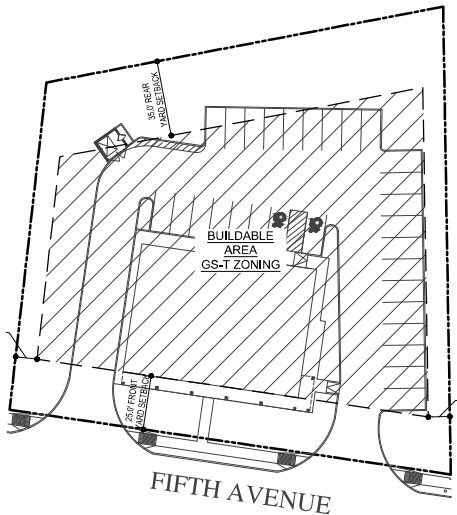


PROPOSED REFUSE ENCLOSURE
6' HIGH, 6' SPLIT-FACED BLOCK WALL 3-SIDES w/ 6' T-HICK CONC. SLAB w/ 6'x8'-10'10" - W/M. PROVIDE (2) 6' HIGH x 4' WIDE OPaque MTL. GATES.
NOTE: APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESSED FOR LOADING OR UNLOADING OF DUMPSTERS OR COMPACTORS. GATES THAT OBSCURE OR LIMIT ACCESS TO PARKING STALLS SHALL CAUSE THOSE STALLS TO BE DEEMED UNAVAILABLE AND NOT SATISFYING ANY PARKING REQUIREMENTS. A 3 FT. METAL OPAQUE PANEL PEDESTRIAN ACCESS GATE SHALL BE PROVIDED, AND SHALL BE INSTALLED WITH A SELF-CLOSING MECHANISM.

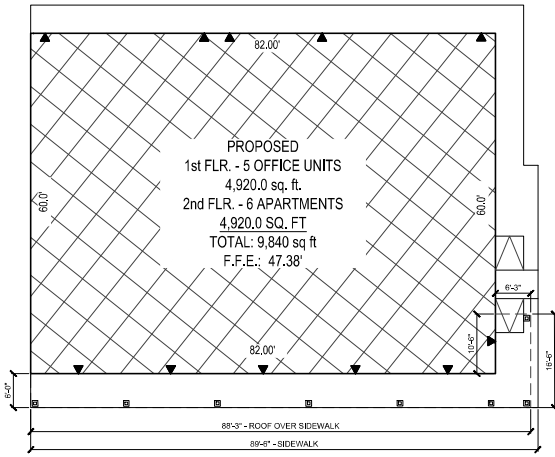


SITE PLAN
SCALE: 1" = 20'-0"

BUILDABLE AREA DIAGRAM N.T.S.



BUILDING DIMENSIONS N.T.S.



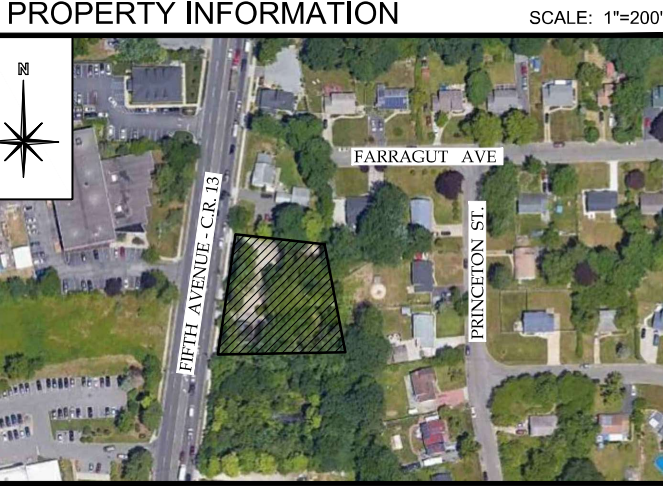
LIST OF DRAWINGS	
SP-1	SITE PLAN AND ZONING INFO
SP-2	TREE PRESERVATION PLAN
SP-3	EROSION AND SEDIMENT CONTROL PLAN
SP-4	GRADING AND DIMENSION PLAN
SP-5	DRAINAGE, UTILITY AND LANDSCAPE PLANS
SP-6	LIGHTING PLAN
SP-7	DETAILS
SP-8	DETAILS

SIGNAGE LEGEND

EXIT ONLY
DO NOT ENTER
"EXIT ONLY DO NOT ENTER"
SIGN #K-6612
SIZE: 18" x 24"

SYMBOLS LEGEND

- NEW TOWN OF ISLIP CATCH BASIN - ITEM 102 CB
- NEW TOWN OF ISLIP "TYPE 1" LEACHING BASIN
- NEW TOWN OF ISLIP "TYPE 2" LEACHING BASIN
- NEW OPEN GRATE
- NEW SOLID COVER
- NEW DRAINAGE BASIN
- NEW 4' DIAMETER DRAINAGE MANHOLE
- NEW GREASE TRAP
- EXISTING SPOT ELEVATION
- EXISTING TOP AND BOTTOM OF CURB ELEVATION
- PROPOSED TOP AND BOTTOM OF CURB ELEVATION
- WATER METER
- ELECTRIC METER
- TELEPHONE
- CABLE/TELEVISION
- GAS METER
- SLOPE ARROW



PROPERTY INFORMATION

COUNTY TAX MAP NO.:
SITE DATA:

DISTRICT: 0500
SECTION: 267
BLOCK: 2
LOT(S) 11, 12.3, & 12.4
BUILDING USE: OFFICES & APARTMENTS
ZONING: GS-T

MAIN BUILDING:

ITEM	AS REQUIRED BY ZONING	%	AS PROPOSED	%
LOT SIZE:	10,000 SF		35,772 SF	
FRONTAGE:	100 FT.		206.78 FT.	
FLOOR AREA RATIO	8,943 SF.	29%	9,840 S.F.	27.5%
			10,436 S.F. INCLUDING COVERED PORCH	26.2%
FRONT YD. SETBACK:	30 FT.		25 FT.	
REAR YD. SETBACK:	35 FT.		81.7 FT	
SIDE YD. SETBACK:	10 FT. ONE SIDE TOTAL BOTH SIDES - 20 FT.		50.3 FT. NOR./ 70.2 FT. SOL.	
BUILDING HEIGHT:	35 FT.		33 FT. - 4 IN.	

ACCESSORY STRUCTURES:

ITEM	AS REQUIRED BY ZONING	%	AS PROPOSED	%
FRONTAGE:	-----		-----	
MAX. FAR:	-----		-----	
FRONT YD. SETBACK:	-----		-----	
REAR YD. SETBACK:	-----		-----	
SIDE YD. SETBACK:	-----		-----	
BUILDING HEIGHT:	-----		-----	

GROUP B - BUSINESS
GROUP R-2 - APARTMENTS
OCCUPANCY TYPE

TYPE V b
CONSTRUCTION TYPE

NO CLASSIFICATION
FIRE HAZARD CLASSIFICATION

PARKING CALCULATIONS

BUILDING: GROSS FLOOR AREA OF BUILDING = 9,840 S.F.
(OFFICES) = 4,920 SF. PARKING @ (1) SPACE PER 200 S.F. OF GFA
(APARTMENTS) = 4,920 SF. - 6 APARTMENTS PARKING @ (1.75) SPACE PER APARTMENT
TOTAL SPACES REQUIRED = 38 SPACES
TOTAL SPACES PROVIDED = 20 SPACES
HANDICAPP PARKING SPACES: REQUIRED = 2 SPACE (FOR TOTAL OF 25-50 SPACES) PROVIDED = 2 H.C. SPACES

GENERAL SITE NOTES

- CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERMIT WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
- OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610)
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN, COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED, DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28B.
- ALL CONSTRUCTION & DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDC FACILITY, LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL PAGES 5A.75 AND 5A.76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITERS LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.



321 RIVERSIDE DR
RIVERHEAD, NY 11901
(516)376-8594

Client Info
MUNOR MANAGEMENT CORP.
1713 Fifth Ave
Bay Shore, New York

Project Info
SITE PLAN FOR NEW MULTI-USE DEVELOPMENT
1451 & 1455 Fifth Ave
Bay Shore, New York

Revisions	Description	Date
1	SITE PLAN DRAWINGS	4/7/2020
2	REVISIONS PER 01/06/2021 COMMENTS	4/4/2021
3	REVISIONS PER 05/03/2021 COMMENTS	7/1/2021
4	REVISIONS PER NASSAU COUNTY COMMENTS	12/5/2021



TAX LOTS:
500-267.00-02.00-011.000
500-267.00-02.00-012.003
500-267.00-02.00-012.004

SITE PLAN NUMBER:
SP2020-060

SITE PLAN AND ZONING INFO

Drawn By
T.B.

Checked By
J.E.M.

Drawing No.
SP-1