

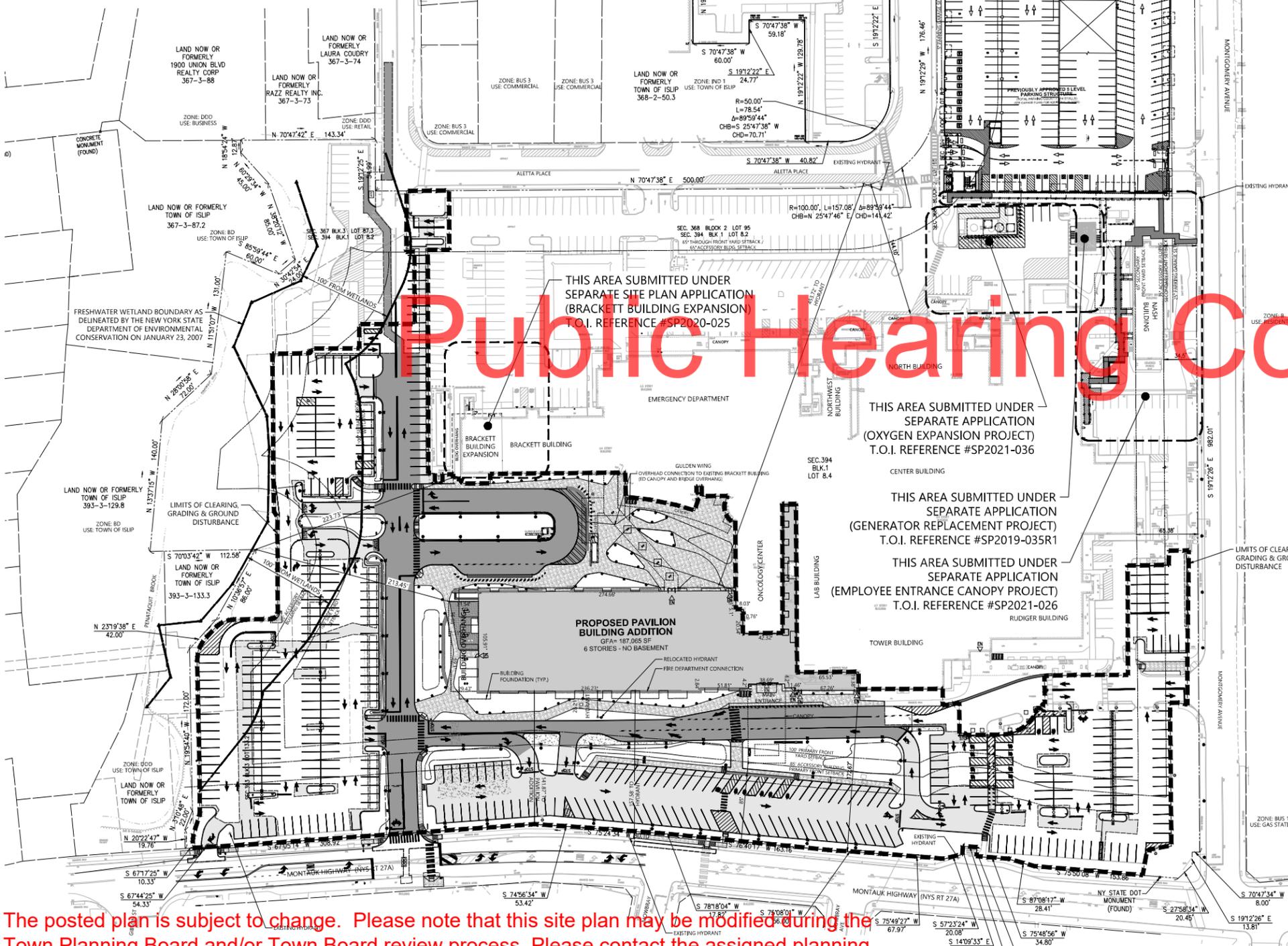
Key Map

1" = 600'

Site Information

Site Area:	830,138 SF (19.06 Acres)	Overall Project Area:	326,517 SF (7.50 Acres)
SCTM:	0500-394.00-01.00-008.004 (830,138 SF) (19.057 Acres) 0500-368.00-02.00-050.005 (36,468 SF) (0.837 Acres)	Area of Work Within Regulated Wetland Adjacent Area (Within 100' Wetland Offset):	36,609 SF
Zone:	Downtown Development District (DDD)	Net Change in Impervious Surface Coverage	9,706 SF Net Decrease in Impervious Area 297 SF Net Decrease in Impervious Area
Flood Zone:	The lot is located within Flood Zone X (area of minimal flooding) as shown on the flood insurance rate map, community panel number 36103C0876H, effective date 09/25/2009.		
Survey Datum:	NAVD88		

THIS AREA SUBMITTED UNDER SEPARATE APPLICATION (HOSPITAL EXPANSION- PARKING GARAGE) T.O.I. REFERENCE #SP2019-035



Public Hearing Copy

THIS AREA SUBMITTED UNDER SEPARATE SITE PLAN APPLICATION (BRACKETT BUILDING EXPANSION) T.O.I. REFERENCE #SP2020-025

THIS AREA SUBMITTED UNDER SEPARATE APPLICATION (OXYGEN EXPANSION PROJECT) T.O.I. REFERENCE #SP2021-036

THIS AREA SUBMITTED UNDER SEPARATE APPLICATION (GENERATOR REPLACEMENT PROJECT) T.O.I. REFERENCE #SP2019-035R1

THIS AREA SUBMITTED UNDER SEPARATE APPLICATION (EMPLOYEE ENTRANCE CANOPY PROJECT) T.O.I. REFERENCE #SP2021-026

PROPOSED PAVILION BUILDING ADDITION
GFA= 187,065 SF
6 STORIES - NO BASEMENT

Zoning Summary Chart (0500-394.00-01.00-008.004)

Existing Zoning District(S):	DDD - Downtown Development District		
Zoning Regulation Requirements	Required	Existing	Proposed
MINIMUM LOT AREA	600,000 SF	830,138 SF (19.06 AC)	830,138 SF (19.06 AC)
MINIMUM FLOOR AREA RATIO	0.6 / 1.5**	0.56	0.76
MAXIMUM BUILDING HEIGHT (HOSPITAL)	110 Feet / 6 Stories	107 Feet - 1-3/8'***	110 Feet / 6 Stories
MAXIMUM HEIGHT (ACCESSORY BUILDINGS)	35 Feet / 2-1/2 Stories	2 Stories	2 Stories
MAXIMUM HEIGHT (PARKING GARAGE)	65 Feet / 5 Stories	60 Feet - 2 IN / 5 Stories	60 Feet - 2 IN / 5 Stories
MINIMUM LANDSCAPE	20% (166,028 SF)	15.4% (133,888 SF) †	17.3% (143,594 SF) †
MINIMUM LANDSCAPE FRONTAGE	50% Required / 10% Site Area including any required buffer zone (71,922 SF)	58.2% / 11.8% (77,704 SF)	48.4% / 9.5%* (69,616 SF)
MAIN BUILDING			
PRIMARY FRONT YARD BUILDING SETBACK (MONTAUK HIGHWAY)	100 Feet	86.34 Feet	141.87 Feet (Building) 85.00 Feet (Canopy)
SECONDARY FRONT YARD (MONTGOMERY AVENUE)	65 Feet	65.38 Feet	65.38 Feet
THROUGH FRONT YARD SETBACK (ALETTA PLACE EAST)	65 Feet	393.4 Feet	393.4 Feet
THROUGH FRONT YARD SETBACK (ALETTA PLACE SOUTH)	65 Feet	N/A	N/A
THROUGH FRONT YARD SETBACK (UNION BOULEVARD)	65 Feet	144.1 Feet	144.1 Feet
SIDE YARD SETBACK	100 Feet	233.3 Feet	213.45 Feet
REAR YARD SETBACK	100 Feet	N/A	N/A
ACCESSORY BUILDING (NASH BUILDING)			
PRIMARY FRONT YARD BUILDING SETBACK (MONTAUK HWY)	85 Feet	537.6 Feet	537.6 Feet
SECONDARY FRONT YARD (MONTGOMERY AVENUE)	35 Feet	135 Feet	135 Feet
THROUGH FRONT YARD SETBACK (UNION BOULEVARD)	65 Feet	347.8 Feet	347.8 Feet
SIDE YARD SETBACK	65 Feet	N/A	N/A
REAR YARD SETBACK	65 Feet	N/A	N/A
PARKING GARAGE ACCESSORY TO HOSPITAL****			
MINIMUM SETBACK TO STREET FRONTAGE (MONTGOMERY AVENUE / UNION BLVD)	25 Feet	25 Feet	25 Feet
MINIMUM SETBACK TO STREET FRONTAGE OPPOSITE DOWNTOWN DEVELOPMENT DISTRICT (DSD)	5 Feet	6.98 Feet	6.98 Feet

Parking Summary Chart

Description	Existing Spaces	Proposed Spaces
EXISTING STANDARD PARKING SPACES	1,738	
EXISTING ACCESSIBLE PARKING SPACES*	50	
TOTAL EXISTING PARKING SPACES	1,788	
Required Spaces		
STANDARD PARKING SPACES	1,110	1,340
ACCESSIBLE PARKING SPACES*	22	28
TOTAL PROPOSED PARKING SPACES	1,132	1,368

Floor Area Ratio Calculation (F.A.R.)

GROSS FLOOR AREA (SF) / TOTAL LOT AREA (SF) = F.A.R.

Building	Gross Floor Area (SF)
BRACKETT BUILDING	56,505 SF
BRACKETT BUILDING EXPANSION	13,246 SF
ONCOLOGY BUILDING	7,323 SF
CENTER BUILDING	25,385 SF
EAST BUILDING	56,623 SF
EMERGENCY DEPARTMENT	19,261 SF
GULDEN BUILDING	24,993 SF
LAB BUILDING	23,703 SF
NASH BUILDING	4,059 SF
NORTH BUILDING	18,813 SF
NORTH WEST BUILDING	19,340 SF
RUDIGER BUILDING	43,766 SF
TOWER BUILDING	122,361 SF
EXISTING SUB-TOTAL¹	434,778 SF
OUTPATIENT REHAB FACILITY	15,266 SF
EXISTING TOTAL	450,044 SF
EXISTING BUILDING CANOPIES/OVERHANGS	
BRACKETT CANOPY	32 SF
BRACKETT OVERHANG	885 SF
EMERGENCY DEPARTMENT	5,050 SF
PARKING GARAGE	340 SF
NASH BUILDING	261 SF
RUDIGER BUILDING	5,333 SF
EMPLOYEE ENTRANCE CANOPY	3,560 SF
HERDIES GARDEN CANOPY	782 SF
EXISTING TOTAL	16,235 SF
EXISTING GROSS FLOOR AREA (TOTAL)	466,287 SF / 830,138 SF = 0.56
PROPOSED GROSS FLOOR AREA	
DEMOLITION OF OUTPATIENT REHAB FACILITY	-15,266 SF
REMOVAL OF EXISTING GUARD BOOTH	-29 SF
PROPOSED PAVILION BUILDING EXPANSION	187,065 SF
PROPOSED MAIN ENTRANCE CANOPY	3,390 SF
PROPOSED ED CANOPY AND BRIDGE OVERHANG	3,115 SF
PROPOSED PAVILION OVERHANG	2,896 SF
PROPOSED GUARD BOOTH	56 SF
TOTAL	181,227 SF
PROPOSED GROSS FLOOR AREA (TOTAL)	647,514 SF / 830,138 SF = 0.78

Required Planning Board Relaxation

MINIMUM LANDSCAPE - 2.7% RELAXATION (20% REQUIRED, 17.3% PROVIDED) (EXISTING NON-COMFORMANCE TO REMAIN)

MINIMUM LANDSCAPE FRONTAGE - 1.6% / 0.5% RELAXATION (50% / 10% REQUIRED, 48.4% / 9.5% PROVIDED)

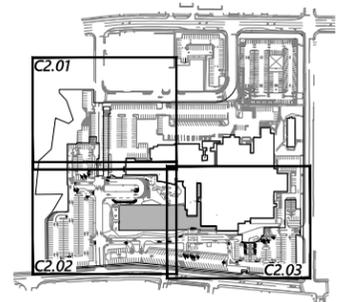
Required Zoning Board Relaxation

MAXIMUM LIGHT FIXTURE HEIGHT - 3'-6" RELAXATION (20'-0" MAXIMUM, 18 FIXTURES AT 23'-2" / 8 FIXTURES AT 23'-6" / 325 LF AT 23'-2" PROVIDED)

General Note

PAVILION BUILDING EXPANSION PLANS BASED ON PREVIOUSLY APPROVED PLANS FOR NORTHWELL HEALTH SOUTHSHORE HOSPITAL, PHASE 1 - PARKING GARAGE DATED APRIL 30, 2019, APPROVED BY TOWN OF ISIP ON SEPTEMBER 3, 2019 (T.O.I. REFERENCE #SP2019-035, AND UPDATED TO INCLUDE GENERATOR REPLACEMENT PROJECT, APPLICATION #SP2019-035R1, BRACKETT BUILDING EXPANSION SITE PLAN APPLICATION #SP2020-025, EMPLOYEE ENTRANCE CANOPY PROJECT #SP2021-026

Engineering, Surveying, Landscape Architecture and Geology, PC
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Key

Not To Scale

NOTE

REFER TO SHEETS C2.01 THROUGH C2.03 FOR PARKING LOT DIMENSIONS AND LABELS.

South Shore University Hospital Pavilion Building Expansion

301 E. Main Street
Bay Shore, NY 11706

No.	Revision	Date	Appr'd
5	Revised per Foundation Package	03/20/2021	KPW
5	Revised per SCDMs Initial Submission	03/15/2021	KPW
4	Revised per Town Comments	10/18/2021	KPW
3	Revised per Town Comments	04/20/2021	KPW
2		02/02/2021	DK
1	Issue 4 - DSG1.0 Design Development	12/21/2020	DK

Designed by: RDH
Checked by: DK

Issued for: **Permit** Date: August 12, 2020

Not Approved for Construction

Overall Layout and Materials Plan

Drawing Title: **C2.00**

Sheet 6 of 30

Project Number: 26011.07

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.