

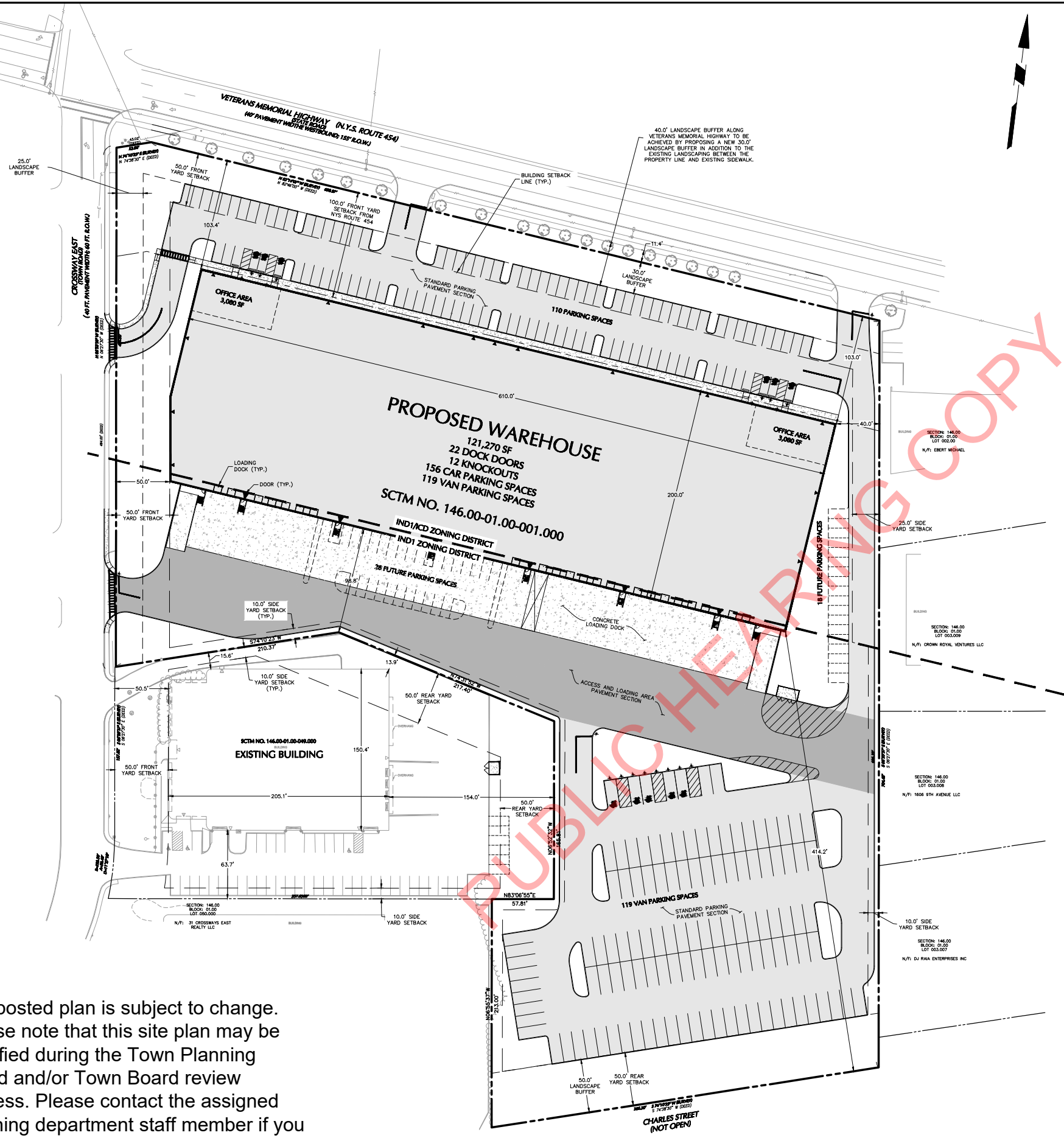
LEGEND

PROPERTY LINE

CONCRETE LOADING DOCK

STANDARD PARKING PAVEMENT SECTION

ACCESS AND LOADING AREA PAVEMENT SECTION

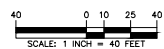


PARKING TABLE			
ITEM	REQUIREMENT	MINIMUM	PROPOSED
Office Parking Spaces	1 Space per 200 SF, Minimum of 15% of GFA must be computed as office space	6,160 SF of office space proposed 121,270 SF x 15% = 18,191 SF 18,191 SF ÷ 200 SF = 91 Spaces	
Warehouse Parking Spaces	1 Space per 1,000 SF	121,270 SF - 18,191 SF = 103,079 SF 103,079 SF ÷ 1,000 SF = 104 Spaces	
Total		91 + 104 = 195 Spaces	110 Car spaces + 119 Van Spaces = 275 Spaces
Accessible Parking Spaces	7 ADA Spaces for parking facilities between 201 and 300 spaces.	7 Spaces	11 Spaces

ZONING DIMENSIONAL REQUIREMENT COMPLIANCE TABLE			
SCTM NO. 146.00-01.00-001.000			
ZONING DISTRICT: ICD			
DIMENSIONAL REQUIREMENTS	PERMITTED/REQUIRED (ICD)	EXISTING	PROPOSED
MIN. LOT AREA	---	426,805 SF (±9.80 AC)	422,331 SF (±9.70 AC)
MIN. LOT WIDTH	300 FT	361 FT	303 FT
MIN. FRONT YARD BUILDING SETBACK	---	81.3 FT (EXISTING NON-COMPLIANCE)	103.0 FT
MIN. FRONT YARD BUILDING SETBACK ALONG VETERANS MEMORIAL HIGHWAY	100 FT		
MIN. SECONDARY FRONT YARD BUILDING SETBACK ALONG CROSSWAY EAST	50 FT	250.3 FT	50.0 FT
MIN. SIDE YARD BUILDING SETBACK	25 FT	11.5 FT	40.0 FT
MIN. REAR YARD BUILDING SETBACK	25 FT 50 FT (ADJ. TO RESIDENTIAL)	364.9 FT	13.9 FT <sup>(1)</sup>
MAX. BUILDING HEIGHT	60 FT OR 4 STORIES	< 60 FT	40 FT
MAX. FAR	0.35	84,640 SF (BLDG FOOTPRINT) ÷ 426,805 SF = 0.20	121,270 SF (BLDG FOOTPRINT <sup>(1)</sup> ) ÷ 422,311 = 0.29
MIN. REAR YARD LOADING SETBACK	---	390.4 FT	375.9 FT
MAX. PARKING WITHIN FRONT YARD	---	16%	21%
MAX. PEDESTRIAN WALKWAY WITHIN PRIMARY FRONT YARD	---	0.8%	1.7%
LANDSCAPE BUFFER ALONG REAR YARD	50 FT <sup>(5)</sup>	> 25 FT	50.0 FT
LANDSCAPE BUFFER ALONG VETERANS MEMORIAL HIGHWAY	40.0 FT <sup>(6)</sup>		40.0 FT <sup>(7)</sup>
LANDSCAPE BUFFER ALONG STREETS BORDERING VETERANS MEMORIAL HIGHWAY	25.0 FT <sup>(6)</sup>	30 FT	25.0 FT

- NOTES:
- (1) ZONING REQUIREMENTS LISTED IN THIS TABLE ARE TAKEN FROM THE TOWN OF ISLIP ZONING CODE, ARTICLE XXV "USE DISTRICT REGULATIONS: INDUSTRIAL 1 DISTRICT," AND ARTICLE XLIII "USE DISTRICT REGULATIONS: INDUSTRIAL CORRIDOR DISTRICT"
- (2) A SPECIAL USE PERMIT HAS BEEN OBTAINED FOR THIS SITE PER PB2021-021.
- (3) A MINIMUM OF 40 FT OF SAID YARD BORDERING VETERANS MEMORIAL HIGHWAY SHALL BE LANDSCAPED. A MAXIMUM OF 10 FT OF THIS REQUIREMENT CAN BE LOCATED IN THE VETERANS MEMORIAL HIGHWAY RIGHT-OF-WAY.
- (4) TAKEN FROM ARCHITECTURAL DRAWINGS.
- (5) PER THE SPECIAL USE PERMIT REQUIREMENTS, A 50.0' LANDSCAPE BUFFER IS REQUIRED ALONG CHARLES STREET.
- (6) TOWN OF ISLIP ZONING CODE, ARTICLE XLIII, SECTION 68-472.A, STATES "ALL BUILDINGS SHALL HAVE A PRIMARY FRONT YARD SETBACK OF 100 FEET ALONG VETERANS MEMORIAL HIGHWAY AND A MINIMUM SECONDARY FRONT YARD SETBACK OF 50 FEET ALONG ANY OTHER ROADWAYS. A MINIMUM OF 40 FEET OF THAT PORTION OF SAID YARD BORDERING VETERANS MEMORIAL HIGHWAY SHALL BE LANDSCAPED IN ACCORDANCE WITH TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. A MAXIMUM OF 10 FEET OF THIS REQUIREMENT CAN BE LOCATED IN THE VETERANS MEMORIAL HIGHWAY RIGHT-OF-WAY. A MINIMUM OF 25 FEET OF THAT PORTION OF THE FRONT YARD BORDERING STREETS INTERSECTING VETERANS MEMORIAL HIGHWAY SHALL BE SIMILARLY LANDSCAPED."
- (7) 40.0' LANDSCAPE BUFFER ALONG VETERANS MEMORIAL HIGHWAY IS TO BE ACHIEVED BY PROPOSING A NEW 30.0' LANDSCAPE BUFFER IN ADDITION TO THE EXISTING LANDSCAPING BETWEEN THE PROPERTY LINE AND EXISTING SIDEWALK.
- (8) VARIANCE REQUESTED

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.

Date	Description	No.
03/14/2022	Revised Variance Submittal	5.
03/14/2022	Revised Per SCMA Requirements	4.
12/21/2021	Revised Per Town Comments	3.
12/01/2021	Revised Per Town Comments	2.
11/01/2021	Revised Per Engineering Comments	1.

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03/14/2022

Signature  
MICHAEL FINAN, PE, LEED-AP  
PROFESSIONAL LICENSE NY Lic. No. 081473

Date

Project

2950 VETERANS MEMORIAL HIGHWAY WAREHOUSE

SCTM NO. 146.00-01.00-001.000

TOWN OF ISLIP, HAMLET OF BOHEMIA

SUFFOLK COUNTY NEW YORK

Drawing Title

OVERALL SITE PLAN

Project No.

100919901

Date

10/08/2021

Drawn By

KM

Checked By

CZ

Drawing No.

CS100

Sheet 4 of 21