

REFERENCES

THIS PLAN REFERENCES:

BOUNDARY AND TOPOGRAPHIC SURVEY
PREPARED BY:
THOMAS MARRAZZO LAND SURVEYOR
32 SEQUOIA WAY
HOLBROOK, NY 11741
DATE: 01/06/2021

BUILDING ARCHITECTURAL LAYOUT
PREPARED BY:
MANCINI WU ARCHITECTURE
222 MIDDLE COUNTRY ROAD, SUITE 314
SMITH TOWN, NY 11787
DATE: 10/15/2021

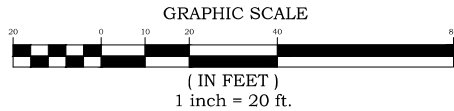
FIELD INVESTIGATION PERFORMED BY:
KEY CIVIL ENGINEERING, P.C.
664 BLUE POINT ROAD, UNIT B
HOLTSVILLE, NY 11742
DATE: 10/20/2021

RECORD SANITARY AS-BUILT
SOUTHWEST SEWER DISTRICT No.3
SUFFOLK COUNTY
PREPARED BY:
BOWE, WALSH & ASSOCIATES
ENGINEERS
HUNTINGTON, NEW YORK

VICINITY MAP BACKGROUND DATA
PROVIDED BY MAPS.GOOGLE.COM



SP2021-085



The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

BULK ZONING TABLE			
ZONING DISTRICT: BUSINESS 1 DISTRICT			
ITEM	SECTION	PERMITTED/REQUIRED	PROPOSED
PERMITTED USES	§68-271.D	STORE, OFFICE, BANK, BROADCASTING STUDIO, LAUNDROMAT AND COMMUNITY BUILDING,	PROPOSED MEDICAL OFFICE - PERMITTED
MINIMUM LOT AREA	§68-271.E	20,000 SF FOR HEALTH RELATED FACILITIES	31,178 SF (0.72 ACRES)
MINIMUM LOT WIDTH	§68-271.A	65' MINIMUM	150'
MAXIMUM BUILDING HEIGHT	§68-275.A	35'	2 STORY/33.5'
MAXIMUM FRONT YARD	§68-280, A & B	10' MINIMUM, 10' FOR CORNER LOTS ON THE SIDE STREET & MAIN STREET FRONTAGE	23.3' TO EAST MAIN STREET 14.8' TO MATINECOCK AVENUE
MINIMUM SIDE YARD	§68-281.A	10' MINIMUM SIDE YARD	52' - COMPLIES
MINIMUM REAR YARD	SOLDR VI-Q-3.28	25' MINIMUM BUFFER TO RESIDENTIAL ZONE	25' - COMPLIES
MINIMUM FLOOR AREA	§68-276	8,000 SF; MAXIMUM FAR OF 0.40 FOR PERMITTED BUILDINGS	7,200 SF (FAR 0.23)
DUMPSTERS	SOLDR VI-K	(1) DUMPSTERS SHALL BE SCREENED FROM VIEW, WITH PLANTINGS DIRECTED BY DEPARTMENT OF PLANNING. (2) DUMPSTER ENCLOSURE SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD DETAIL SHOWN IN APPENDIX C, AND SHOULD BE A MASONRY STRUCTURE THAT COMPLIES WITH OTHER SITE ARCHITECTURAL ELEMENTS.	COMPLIES
LANDSCAPING	SOLDR VI-A-3.1	3.1: A MINIMUM OF TWENTY (20) PERCENT OF THE PLOT AREA SHALL BE LANDSCAPED AND MAINTAINED AS INDICATED ON THE SITE PLAN. BUFFER AREAS SHALL NOT BE INCLUDED WHEN CALCULATING THE MINIMUM REQUIRED TWENTY PERCENT (20%) LANDSCAPED AREA. A MINIMUM OF FIFTY (50) PERCENT OF ALL REQUIRED LANDSCAPING SHALL BE LOCATED WITHIN THE PRIMARY OR SECONDARY FRONT YARD AREAS OF THE SITE UNLESS SPECIFICALLY MODIFIED BY THE COMMISSIONER OF PLANNING. A LANDSCAPED AREA WITH A MINIMUM DEPTH OF EIGHT (8) FEET SHALL BE PROVIDED ALONG ALL STREET FRONTAGES.	TOTAL LOT AREA 31,178.1 S.F. REQUIRED 20% 6,235.6 S.F. PROPOSED 4,980.1 S.F. (16%); WAIVER REQUIRED (FRONT YARD) 3,117.8 S.F. PROPOSED 3,875.6 S.F. (82%); COMPLIES 8' MIN. LANDSCAPE DEPTH AREA PROVIDED ALONG ALL STREET FRONTAGES, COMPLIES

SITE LAYOUT & PARKING CALCULATIONS			
ITEM	SECTION	PERMITTED/REQUIRED	PROVIDED
PARKING	REQUIREMENTS & CALCULATIONS		
ACCESSIBLE PARKING	NYSBC 1106.1	(1) TOTAL SPACES PROVIDED = 26 TO 50 (2) REQ. MIN. ACCESSIBLE SPACES = 2	2 ADA SPACES WITH ADJACENT 8 FT WIDE ACCESS AISLE
MINIMUM NUMBER OF PARKING SPACES	SOLDR APPENDIX E.8	1 PER 150 SF OF GFA; NOT LESS THAN 8 SPACES FOR MEDICAL OFFICE BUILDINGS 6,900 SF x 1 STALL / 150 SF = 46 STALLS REQUIRED.	46 PROPOSED STALLS INCLUDING 2 ADA SPACES AND 1 LAND BANKED STALL
MINIMUM AISLE WIDTH & STALL SIZE	SOLDR VI-L-7.1	23 FT WITH 90° PARKING 9 FT x 19 FT STALL SIZE 20 FT WITH 90° PARKING 10 FT x 19 FT STALL SIZE	23 FT MIN. AISLE WIDTH 9 FT x 19 FT STALL SIZE

NYSBC 2020 NEW YORK STATE BUILDING CODE
SOLDR TOWN OF ISLIP - SUBDIVISION & LAND DEVELOPMENT REGULATIONS
STND STANDARD

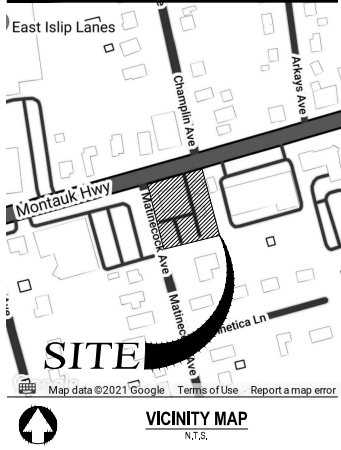
LEGEND		
EXISTING	ITEM	PROPOSED
	PROPERTY LINE	
	BUILDING	
	CONCRETE CURB	
	WOODEN FENCE	
	CHAIN LINK FENCE	
	OVERHEAD WIRES	
	SITE LIGHTING	
	TRAFFIC MARKING	
	MANHOLE COVER	
	DRAINAGE INLET	
	ADA PARKING SPACE	
	PARKING COUNT	
	CURB RAMP	
	LANDSCAPE AREA	
	TREE	
	CONCRETE AREA	
	SNOW STORAGE AREA	
	DOOR LOCATION	

TOWN OF ISLIP SITE PLAN NOTES

- CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANTS EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
- OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610)
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT. IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6 NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE. IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28S.
- ALL CONSTRUCTION & DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDOT FACILITY. LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL PAGES S475 AND S476. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITERS LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

GENERAL SITE NOTES

- UNSATURABLE MATERIAL, CONSTRUCTION DEBRIS, EXCESS SOILS, ETC., SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
- THE CONTRACTOR IS RESPONSIBLE TO TAKE EROSION CONTROL MEASURES NECESSARY IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT ROADWAYS AND PROPERTIES.
- ALL ON-SITE CONCRETE SHALL BE IN CONFORMANCE WITH ACI PROVISIONS. ALL CURBING SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
- RELOCATION AND/OR REMOVAL OF EXISTING UTILITY POLES, TRAFFIC SIGNS, ETC., SHALL BE COORDINATED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FIELD-VERIFYING THEIR PRESENCE.
- WORK WITHIN THE R.O.W. OF EAST MAIN STREET, AND MATINECOCK AVENUE SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE TOWN OF ISLIP, SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL TRAFFIC CONTROL DEVICES, I.E. SIGNALS, SIGNS, AND PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE GUIDELINES OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DIRECTED BY THE TOWN OF ISLIP, DIVISION OF TRAFFIC SAFETY. ALL PAVEMENT MARKINGS REQUIRED SHALL BE THERMOPLASTIC NYSDOT SPECIFICATIONS UNLESS OTHERWISE NOTED ON PLAN.
- CONTRACTOR SHALL SAWCUT TO THE FULL DEPTH OF EXISTING PAVEMENT WITH A STRAIGHT VERTICAL EDGE FREE FROM IRREGULARITIES WHEREVER NEW PAVEMENT JOINS EXISTING PAVEMENT. CONTRACTOR SHALL DETERMINE EXACT LOCATION AND EXTENT OF THE REQUIRED SAWCUTTING IN ORDER TO PERFORM THE WORKSCOPE DEPICTED ON THE PLANS. TWO FT MINIMUM FROM CURBS, PADS, WALKS, AND WALLS TO PERMIT PROPER COMPACTION OF THE REPLACED SURFACES, EXISTING EDOES OF THE PAVEMENT TO BE NEATLY SAW-CUT PRIOR TO PAVING, AND A MINIMUM OF 2 FEET FROM PROPOSED CURBING TO ALLOW FOR PROPER FORMING.
- REMOVAL INCLUDES, BUT IS NOT LIMITED TO, CURBING, PAVEMENT, UNSATURABLE MATERIALS, AND UNDERGROUND PIPING. QUESTIONABLE ITEMS ENCOUNTERED (ABOVE AND/OR BELOW GRADE) SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD IMMEDIATELY IN WRITING BEFORE REMOVAL OR DISTURBANCE.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO EXISTING FOUNDATIONS AND OTHER STRUCTURES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF EXPOSED AND/OR BELOW GRADE FOUNDATIONS, WALLS, SIDEWALKS AND PAVEMENT TO REMAIN, AND SHALL PROVIDE A SAFE WORK AREA. ANY DAMAGE OR DISTURBANCE DUE TO SUBJECT WORKSCOPE SHALL BE REPAIRED TO LIKE-IND CONDITIONS AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES. ANY TRAFFIC CONTROL, ACCESS, AND SAFETY PROVISIONS WITHIN THE R.O.W. AND ACCESS ROUTES (E.G. ACCESSIBLE RAMPS, PEDESTRIAN CROSSWALKS, SIDEWALKS, PAVEMENT STRIPING, ETC.) SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL DETERMINE APPROPRIATENESS OF REMOVAL ACTIVITIES AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL PERMANENT COMPONENTS/REPLACEMENTS CAN BE INSTALLED.
- IF SHORING AT A DEPTH GREATER THAN 5 IS REQUIRED TO ACCOMMODATE CONSTRUCTION ACTIVITIES, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RETAIN A LICENSED PROFESSIONAL ENGINEER TO DESIGN THE REQUIRED SHEETING AND SHORING DETAILS, SHEETING SHALL BE IN CONFORMANCE WITH OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, SIZE, TYPE, AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC. PRIOR TO THE START OF ANY WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IN WRITING IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS. ABOVEGROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND RECORD DRAWINGS AVAILABLE AT THE TIME OF THE SURVEY AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTION WITH THE APPLICABLE UTILITY COMPANIES PRIOR TO REMOVAL ACTIVITIES. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE REMOVAL OF STRUCTURES AND FOUNDATIONS WITH SOIL CONSISTING OF MATERIALS FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED SHALL NOT BE LARGER THAN 6 INCHES IN DIMENSION. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERLIE ALL NECESSARY ACTIONS IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. REFUSE THE SURFACE TO MEET ADJACENT GRADES. REFER TO THE ROADWAYS ADJACENT TO THE CONSTRUCTION SITE. THESE MARKINGS, SIGNS AND SIGNALS, ARE MAINTAINED DURING THE ENTIRE PERIOD OF CONSTRUCTION. IF REPLACEMENT OR UPGRADE IS REQUIRED, SAME MUST BE APPROVED BY THE TOWN OF ISLIP DEPARTMENT OF ENGINEERING SERVICES, DIVISION OF TRAFFIC SAFETY AND TRANSPORTATION PLANNING.
- UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, SHALL BE EMPTIED, CLEANED AND REMOVED FROM THE SITE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS.
- PROPOSED TREE PROTECTION FENCE TO BE INSTALLED BEFORE THE START OF REMOVAL ACTIVITIES AND TO BE REMOVED AFTER CONSTRUCTION IS COMPLETE. REFER TO LANDSCAPE PLAN FOR DETAILS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING MATERIALS AND INSTALLATION OF PROPOSED WORK. FOR OBTAINING THE REQUIRED PERMITS, SIGN OFFS, AND CONSTRUCTION INSPECTIONS, ACCORDING TO GOVERNING BUILDING CODES AND DISPOSAL OF ALL MATERIAL IN ACCORDANCE WITH STATE AND LOCAL LAW.
- SIDEWALKS, CURBS, OR OTHER EXISTING SITE APPURTENANCES DAMAGED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED IN KIND OR UNLESS NOTED OTHERWISE (UNO), WHETHER SPECIFIED ON THIS PLAN OR NOT, AT THE SOLE COST OF THE CONTRACTOR.
- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS.
- SEQUENCE AND COORDINATION OF CONSTRUCTION IS SOLELY THE CONTRACTORS RESPONSIBILITY.
- PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN A TOWN OF ISLIP RIGHT-OF-WAY THE APPLICANT/OWNER/DEVELOPER/CONTRACTOR MUST OBTAIN A RIGHT-OF-WAY WORK PERMIT FROM THE TOWN OF ISLIP DEPARTMENT OF PUBLIC WORKS.
- ANY UTILITIES INCLUDING POLES REQUIRED TO BE RELOCATED DUE TO THE INSTALLATION OF THE REQUIRED IMPROVEMENTS SHALL BE RELOCATED AT THE EXPENSE OF THE APPLICANT/OWNER/DEVELOPER/CONTRACTOR.
- ALL ACCESSIBLE PARKING, CURB RAMPS, AND OTHER APPURTENANCES OF ACCESSIBLE ROUTES ARE TO MEET THE REQUIREMENTS OF THE 2020 NYS BUILDING CODE CHAPTER 11-ACCESSIBILITY, AND ICANYS A117.1 - 2009.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODE.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST O.S.H.A. STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF O.S.H.A., AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEAN-OUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- IN CASE OF DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS, IMMEDIATELY NOTIFY THE PROJECT ENGINEER IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL PROVIDE A COPY OF APPROVALS TO PROJECT ENGINEER AND OWNER PRIOR TO INITIATING WORK.
- CONTRACTOR SHALL DOCUMENT, WITH PHOTOS, CRITICAL STAGES OF CONSTRUCTION AND PROVIDE TO ENGINEER OF RECORD AT END OF CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM THE WORK AS SHOWN ON THE PLANS AND SPECIFIED HEREIN. THE PLANS SHOW THE GENERAL SCOPE OF THE WORK AND DO NOT NECESSARILY SHOW ALL DETAILS REQUIRED FOR COMPLETE FINISHED WORKING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS AND LABOR AS NECESSARY FOR THE CONSTRUCTION OF COMPLETE WORKING SYSTEMS.
- ELECTRICAL WORK SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
- ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORK DAY OR PROTECTED WITH TEMPORARY FENCING IN COMPLIANCE WITH OSHA REQUIREMENTS.
- DEWATERING (IF REQUIRED) SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL & STATE REGULATIONS, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY NECESSARY ASSOCIATED DISCHARGE PERMITS.
- SIGNS TO BE FILED UNDER SEPARATE APPLICATIONS BY OTHERS.
- DISABILITY RAMPS PLACED WITHIN RIGHT OF WAY FRONTAGES SHALL CONFORM TO NYSDOT ENGINEERING REQUIREMENTS.
- APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESSSED FOR LOADING OR UNLOADING OF DUMPSTERS. REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES.



PROJECT DATA	
APPLICANT/OWNER:	BRAD LIPMAN SOLIMAN PROPERTIES AT 136 EAST MAIN STREET LLC, 377 PEARSON AVENUE, SUITE B CEDARHURST, NY 11716 (413) 725-9676
TAX MAP NUMBER:	Dist. 500, Sect. 373, Block 2, Lot(s) 47.1 & 48
SITE AREA:	31,178 SF (0.72 Acres)
CURRENT ZONING:	BUS1
PROPOSED ZONING:	BUS1
CURRENT USE:	OFFICE
PROPOSED USE:	MEDICAL OFFICE
EXISTING FOOTPRINT:	5,630 SF
PROPOSED FOOTPRINT:	4,987 SF
GROSS FLOOR AREA:	ENTRY LEVEL: 4,087 SF SECOND LEVEL: 3,133 SF
(WITH AREA BREAKDOWN)	TOTAL: 7,200 SF

NO.	DATE	BY	DESCRIPTION
3	03/18/22	CD	REV. PER TOWN COMMENTS
2	02/09/22	PD	REV. TO ADD MECHANICAL ENCLOSURES
1	01/06/22	PD	REV. PER TOWN COMMENTS

KEY
CIVIL ENGINEERING
664 BLUE POINT ROAD, UNIT B
HOLTSVILLE, NEW YORK 11742
(631) 961-0506
www.KeyCivilEngineering.com

PROJECT NAME
PROPOSED MEDICAL OFFICE
136 EAST MAIN STREET
EAST ISLIP, NEW YORK 11730
TOWN OF ISLIP, SUFFOLK COUNTY
DIST.:500, SECT.: 373, BLOCK: 2, LOTS: 47.1 & 48
GROUNDWATER MANAGEMENT ZONE VII

DRAWING TITLE

SITE PLAN

DATE: 11/01/2021
SCALE: 1" = 20'
PROJECT NUMBER: 21008
DRAWING BY: PD
CHECKED BY: MP
APPROVED BY: MP

SEAL & SIGNATURE:

MARC PILOTTA, P.E.
NEW YORK STATE PROFESSIONAL ENGINEER #0815587

ALTERATION OR ADDITION TO THE DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER A VIOLATION OF SECTION 2-201 OF THE NEW YORK STATE EDUCATION LAW.
DRAWING No: C-1
PAGE No: 1 OF 9