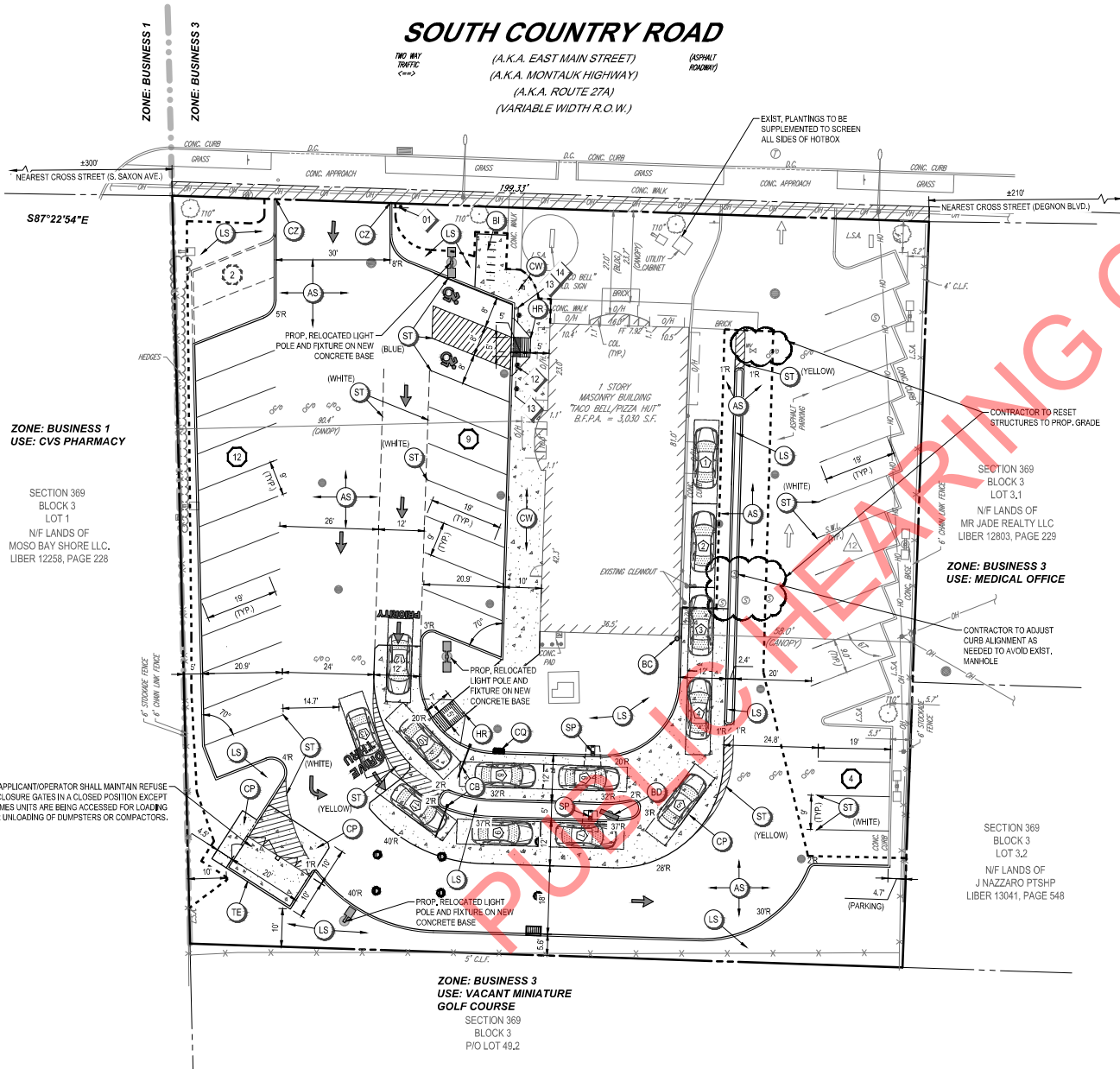




### LEGEND

EXISTING	PROPOSED
<b>PROPOSED KEY DESCRIPTIONS</b> (SEE DETAIL SHEET FOR MORE INFORMATION)	
AS	ON-SITE ASPHALT PAVEMENT
BC	CONCRETE FILLED BOLLARD
BD	DRIVE THRU ORDER BOARD SIGN
BI	BIKE RACK
CB	CLEARANCE BAR
CP	CONCRETE PAD
CD	CURB BREAK
CW	CONCRETE SIDEWALK
CZ	CURB NOSE / TAPERED CURB
HR	ACCESSIBLE RAMP
LS	LANDSCAPED AREA
SP	SPEAKER POST
ST	PAINTED STRIPING
TE	TRASH ENCLOSURE
<b>SIGNAGE KEY DESCRIPTIONS</b> (SEE DETAIL SHEET FOR MORE INFORMATION)	
01	'STOP' SIGN MUTCD R1-1
12	'NO PARKING ANY TIME' SIGN (GENERAL) MUTCD R7-1 (MOD.)
13	RESERVED PARKING SIGN (WITHOUT ARROW) MUTCD R7-8 (MOD.)
14	'VAN ACCESSIBLE' SIGN MUTCD R7-40



### ZONING TABLE

ZONE: BUSINESS 3  
USE: FAST FOOD RESTAURANT (PERMITTED BY TOWN BOARD SPECIAL PERMIT AFTER PUBLIC HEARING §66-302C)

### APPLICANT/ OWNER INFORMATION

APPLICANT / PROPERTY OWNER: TACO BELL OF AMERICA, LLC  
1 GLEN BELL WAY  
IRVINE, CA 92618

### BULK REQUIREMENTS

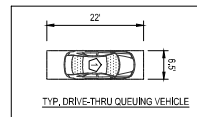
ITEM	CODE	PERMITTED	PROPOSED
MIN. LOT AREA	§ 66-308.F	40,000 SF	*37,922 SF (0.871 AC)
MIN. LOT WIDTH	§ 66-310.A	100'	197.33'
MIN. FRONT YARD	§ 66-311.A	25'	*23.7' (EXIST. CANOPY)
MIN. SIDE YARD	§ 66-312.A	10'	58' (EXIST. CANOPY)
MIN. REAR YARD	§ 38-313	10'	10' (TRASH ENCLOSURE)
MAX. BUILDING HEIGHT	§ 66-306.A	35'	COMPLIES
MIN. LANDSCAPE BUFFER	§ VI.Q.3	5' (PARKING) 8' (STREET FRONTAGE)	*4.7' (EXIST. PARKING) 5' (PROP. PARKING)
MIN. LANDSCAPE COVERAGE	§ VI.Q.3.1	20% (7,384.4 SF)	23.6% (8,961 SF)
MIN. LANDSCAPE COVERAGE IN FRONT YARD	§ VI.Q.3.1	50% OF REQUIRED LANDSCAPING (3,792.2 SF)	*35.4% (2,685 SF)
REQUIRED STREET TREES	§ VI.Q.3.5	1/20' ON CENTER: 199, 11/20' = 10 TREES REQUIRED	*4 TREES (EXIST.)
MAX. FAR	§ 66-307.A	0.25	0.08 (EXIST.) NONCONFORMANCE

### PARKING REQUIREMENTS

ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN. STALL SIZE	§ VII.L.1	9' X 19' (90')	± 9' X 19' (87')	9' X 19' (70') 9' X 19' (90')
MIN. AISLE WIDTH	§ VII.L.2	23' (90')	24.9' (90') 17.9' (87')	20' (67' BACKUP SPACE) 24.9' (90' BACKUP SPACE) 18' (PROP. ONE-WAY AISLE)
MIN. DRIVE THRU QUEUE	APPENDIX E	12	12	13
MIN. NUMBER OF STALLS	APPENDIX E	31	43	39

REQUIRED FOR FAST FOOD RESTAURANT USE = 1 STALL PER 2 PERMANENT SEATS;  
OR 1 STALL PER 100 SF OF GFA;  
OR 1 STALL PER 4 PERSONS LEGALLY ACCOMMODATED, WHICHEVER IS GREATER

PARKING REQUIRED = (1/2 SEATS X 60 SEATS) = 30 STALLS  
OR (1/100 SF GFA X 3,030 SF GFA) = 30.3 = 31 STALLS  
OR (1/4 PERSONS X 93 PERSONS) = 23.25 STALLS  
TOTAL PARKING REQUIRED = 31 STALLS  
TOTAL PARKING PROVIDED = 39 STALLS (INCLUDING 2 ACCESSIBLE STALLS & 2 LANDBANKED STALLS)



### SITE LOCATION MAP (N.T.S.) GOOGLE MAPS

### SITE LAYOUT NOTES

- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS SPECIFIC NOTES.
- PRIOR TO THE COMMENCEMENT OF GENERAL CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES OR THE RIGHT-OF-WAY.
- ALL DIRECTIONAL TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS, GUIDELINES, RULES, REGULATIONS, STANDARDS AND THE LIKE.
- THE LOCATIONS OF PROPOSED UTILITY POLES AND LINE TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD-VERIFYING THEIR LOCATION. THE CONTRACTOR MUST COORDINATE THE RELOCATION OF TRAFFIC SIGNS WITH THE ENTITY WITH JURISDICTION OVER THE PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN DIMENSION IS TO A PROPERTY LINE, STAKE OUT OF LOCATIONS OF POLES, LIGHT POLES, ETC. MUST BE PERFORMED IN STRICT ACCORDANCE WITH THE DETAILS, UNLESS NOTED CLEARLY OTHERWISE.
- WHEN APPLICABLE, OWNER/OPERATOR MUST FILE THE NOT FOR PROCEEDS PERMITS AT APPROPRIATE AND/OR REQUIRED TIMEFRAMES BASED UPON THE DESIRED START OF CONSTRUCTION. LAND DISTURBING ACTIVITIES MUST NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED FROM GOVERNING AUTHORITIES INCLUDING STORMWATER POLLUTION PREVENTION PLAN, PERMITS, REQUIREMENTS. THE CONTRACTOR MUST STRICTLY ADHERE TO THE APPROVED SWPPP PLAN DURING CONSTRUCTION ACTIVITIES (IF PROVIDED).
- ALL WEATHERED/EXPOSED CONCRETE MUST BE AIR ENTRAINMENT AND INCLUDE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- THE CONTRACTOR MUST REPAIR OR REPLACE, AT THE CONTRACTOR'S SOLE COST AND EXPENSE, ALL SIDEWALKS, CURBS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES, WHETHER SPECIFIED ON THIS PLAN OR NOT.
- BUILDING AND FREESTANDING IDENTIFICATION SIGNS TO BE FILED UNDER SEPARATE APPLICATIONS.
- WORK WITHIN THE RIGHT-OF-WAY OF EAST MAIN STREET MUST BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS AND STANDARDS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION.

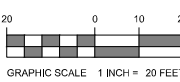
### TOWN OF ISLIP NOTES

- CONTACT THE ENGINEERING INSPECTOR (631-224-5369) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE. COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
- OBTAIN A TOWN RIGHT OF WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610).
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH. ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF ANY/COR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE. IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28B.
- ALL CONSTRUCTION & DEMOLITION (C&D) MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDC FACILITY. LOAD/TRANSFER TICKETS TO BE RETAINED AND CURRES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P. 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE, THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 5A.75 AND 5A.76, CONSTRUCTION AND DEMOLITION (C&D) DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT / OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND / OR FLUORS. APPLICANT / OWNER SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES THE UNITS ARE BEING ACCESSED FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATIONS TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

**NOTE:**  
EXISTING EDGES OF THE PAVEMENT TO BE NEATLY SAW-CUT PRIOR TO PAVING, AND A MINIMUM OF 2 FEET FROM PROPOSED CURBSHOP TO ALLOW FOR PROPER FORMING AND COMPACTION.

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



THE EDUCATION LAW OF THE STATE OF NEW YORK PROHIBITS ANY PERSON ALTERING ANYTHING ON THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS, UNLESS IT IS UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, WHERE SUCH ALTERATIONS ARE MADE. THE PROFESSIONAL ENGINEER MUST SIGN, SEAL, DATE AND DESCRIBE THE FULL EXTENT OF THE ALTERATION ON THE DRAWINGS AND/OR IN THE SPECIFICATIONS. (NYS EDUCATION LAW SECTION 7209-4)

TOWN OF ISLIP APPROVALS

TOWN SITE PLAN # SP2021-010

**BOHLER**  
SITE CIVIL AND CONSULTING ENGINEERING  
LAND SURVEYING  
PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
CONSTRUCTION SERVICES  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

### REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	01/25/2021	REV. PER CLIENT COMMENTS	TW	RJ
2	01/28/2021	REV. PER CLIENT COMMENTS	TW	RJ
3	03/29/2021	REV. PER TOWN COMMENTS	TW	EM
4	09/29/2021	REV. PER TOWN COMMENTS	TW	SD
5	02/22/2022	REV. PER TRAFFIC COMMENTS	SD	AH



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### ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT TO BE USED FOR CONSTRUCTION UNLESS INDICATED OTHERWISE.

PROJECT NO.: N20288  
DRAWN BY: SD  
CHECKED BY: EM / AK / JSN  
DATE: 01/07/2021  
CAD ID.: N20288-SPP-SA

### PROJECT:

**PROP. SITE PLAN DOCUMENTS**  
FOR  
**TACO BELL**  
**TACO BELL**  
PROPOSED  
SITE IMPROVEMENTS  
490 EAST MAIN STREET  
BAY SHORE  
TOWN OF ISLIP  
SUFFOLK COUNTY, NY 11706  
SCTM #: 500 - 369 - 3 - 49.4

### BOHLER

2929 EXPRESSWAY DRIVE NORTH  
HAUPPAUGE, NY 11749  
Phone: (631) 738-1200  
Fax: (631) 285-4464  
www.BohlerEngineering.com



SHEET TITLE:

### SITE LAYOUT PLAN

SHEET NUMBER:

**C-301**

REVISION 5 - 02/22/2022