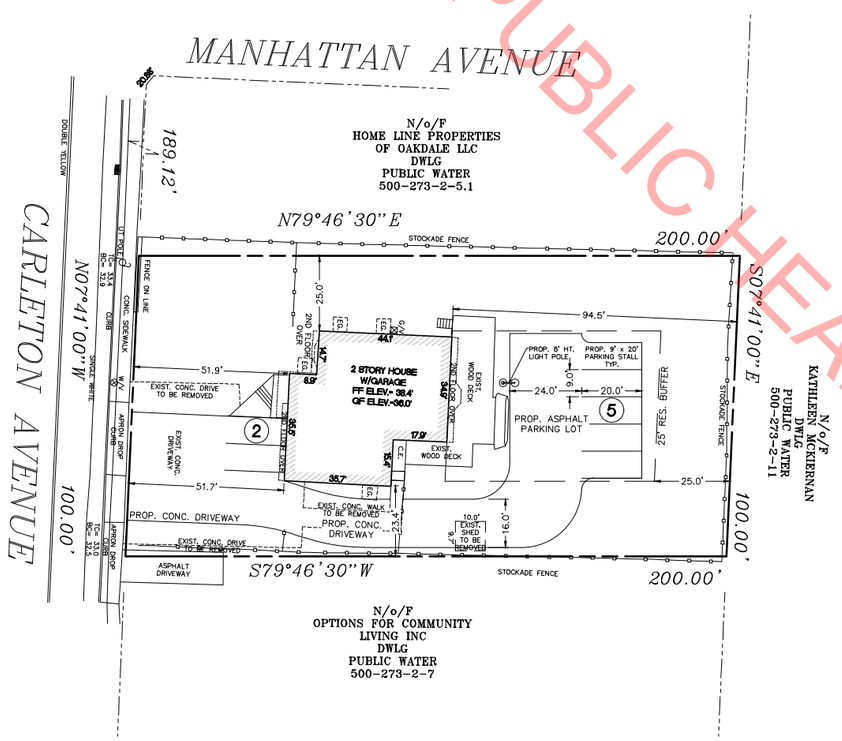

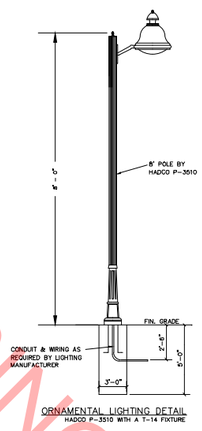

ORNAMENTAL LIGHTING DETAIL
HADCO P-3510 WITH A T-14 FIXTURE

LEGEND

- CATCH BASIN
- GAS VALVE
- WATER VALVE
- MANHOLE COVER
- DRAINAGE MANHOLE COVER
- SEWER MANHOLE COVER
- LIGHT POST
- MONUMENT
- STAKE
- PIPE
- DRILL HOLE
- HYDRANT
- WATER METER
- BOLLARD
- UTILITY POLE
- GUY WIRE
- WETLANDS
- SIGN
- WELL
- RECT. DROP INLET
- DROP INLET
- ELECTRIC BOX
- CABLE BOX
- TELEPHONE BOX
- TRAFFIC SIGNAL BOX
- FLAG POLE
- WETLANDS FLAG
- HANDICAPPED PARKING
- DOOR LOCATION
- 165.6 PROPOSED ELEVATION
- x 164.0 EXISTING ELEVATION
- OVERHEAD WIRES
- TELEPHONE LINE
- WATER MAIN
- UNDER GROUND ELECTRIC
- GAS LINE
- FIBER OPTIC LINE
- SANITARY LINE
- STOCKADE FENCE
- CHAIN LINK FENCE

KEY MAP

SCALE: 1" = 250'

SITE CRITERIA

SITE DATA

SITE AREA	0.46 ACRES	20,000	SQ.FT.
EXISTING BUILDINGS AREA		2,276	SQ.FT.
PROPOSED BUILDINGS AREA		0	SQ.FT.
TOTAL BUILDINGS AREA		586.8	SQ.FT.
EXIST. F.A.R.		11.3	%
PARKING REQUIRED		6	STALLS
PARKING PROVIDED w/ LANDBANKED		7	STALLS
DATUM		NAVD 1988	
ZONE		CAA	
USE		3 Family Dwelling	

CAA ZONING REQUIREMENTS

SETBACK	REQ.	EXIST.	PROP.	
MINIMUM LOT AREA	15,000	20,000	---	SQ.FT.
MINIMUM ROAD FRONTAGE	100	100	---	FEET
FRONT YARD SETBACK	25	51.7	---	FEET
REAR YARD SETBACK	25	94.7	---	FEET
SIDE YARD SETBACK	15	23.4	---	FEET
MAXIMUM F.A.R.	25	11.3	---	25% max
FRONT YARD OPEN AREA	65	46.1	60.6	%
REAR YARD OPEN AREA	15	29.3	7.2	%

PARKING CALCULATIONS

(2) STALL PER DWELLING	6	STALLS
TOTAL PARKING REQUIRED	6	STALLS
TOTAL PARKING PROVIDED	7	STALLS
RELAXATION REQUIRED	0	%

SANITARY CALCULATIONS

LOT 1
SITE WITHIN GROUNDWATER MANAGEMENT ZONE VII = 600 GPD/ACRE
2- FAMILY GRANDFATHER = 600 GPD

PROPOSED 4 FAMILY DWELLING
1,200 REQ. 600 PROV. - SEWER CAPACITY AVAILABLE.

SPECIAL PERMITS/ VARIANCES REQUIRED

THE FOLLOWING VARIANCES/ SPECIAL PERMITS ARE REQUESTED FROM THE TOWN OF ISLIP TOWN BOARD, PLANNING BOARD AND/OR ZONING BOARD:

§ 68-155 (B)- THE REAR YARD CONSISTS OF 15% OPEN SPACE EXCLUSIVE OF BUFFER AND PARKING AREAS.

SCTM# 0500 - 273.00- 02.00 - 006.000

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41 CARLETON AVENUE
PROPOSED (3) FAMILY RESIDENCE
ISLIP TERRACE, NY 11752

PRELIMINARY PLAN

SCTM# 0500-273.00-02.00-006.000

No.	DATE	REVISION

PROJECT NO.	#21-102
DRAWN BY	C.L.
CHECKED BY	C.L.
DATE	NOV. 2021
SCALE	1" = 20'

PRE-1

SHEET NO. 1 OF 1

PUBLIC HEARING COPY

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.