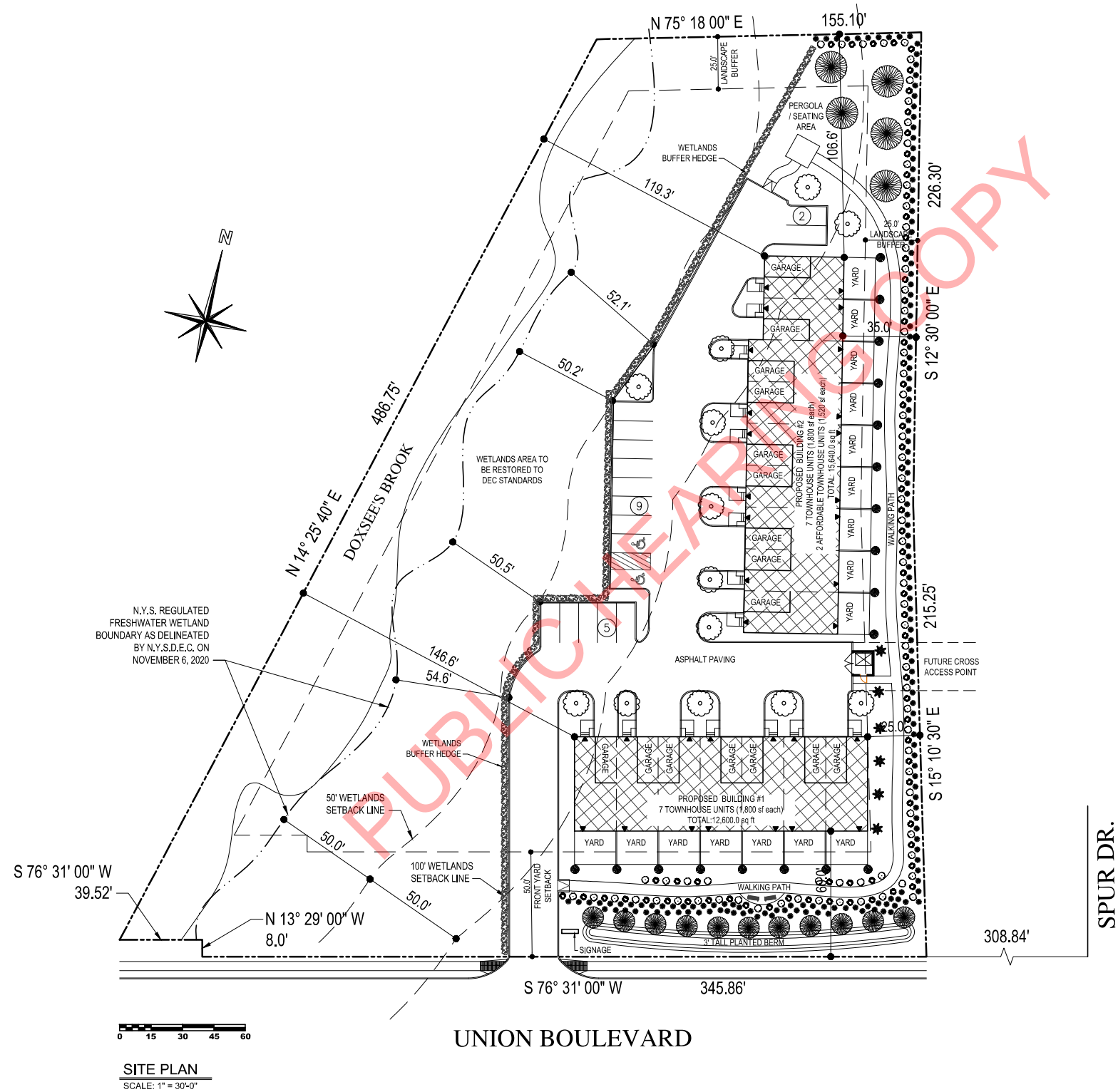


The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



**ZONING:** CURRENTLY "RESIDENCE CA"  
FRONT YARD: 60.0'  
SIDEYARD: BUILDING #1: 25.0' AND 146.6'  
BUILDING #2: 35.0' AND 119.3'  
REAR YARD: 106.6'

**LOT AREA:** 118,111.35 sq ft (2.71 ACRES)

**BUILDING AREA ALLOWED:** 20% 118,111.35 x 0.20 = 23,622.27 sq ft  
**F.A.R. PROPOSED:** 28,240 sq ft = 23.9%

**PROPOSED USE:** TOWNHOUSES

**NUMBER OF TOWNHOUSES PROPOSED:** 14 STANDARD & 2 AFFORDABLE  
16 TOTAL TOWNHOUSES  
6 TOWNHOUSE PER ACRE \* 2.71 ACRES = 16.26 TOWNHOUSES

**PARKING:** 2 SPACES per TOWNHOUSE = 32 SPACES  
32 - 9' x 19' SPACES REQUIRED (30 SPACES PROVIDED)  
2 SPACE REQUIRED TO BE HANDICAP COMPLIANT (1 TO BE VAN ACCESSIBLE)

**TOTAL SPACE PROVIDED:**  
- 16 PARKING SPACES (2 HANDICAP)  
- 16 GARAGE SPACES  
- 15 DRIVEWAY SPACES



McNeill  
ARCHITECTURE

321 RIVERSIDE DR  
RIVERHEAD, NY  
11901  
(516)376-8594

Client Info

6 STAR DEVELOPMENT  
CORPORATION  
1716 FIFTH AVENUE -  
SECOND FLOOR  
BAY SHORE, NY

Project Info

2565 UNION BOULEVARD  
ISLIP, NY



PLOT PLAN

Drawn By  
J.E.M.

Checked By  
J.E.M.

Drawing No.  
A-0

Sheet 1 of 4