



LEGEND

EXISTING	PROPOSED

PROPOSED KEY DESCRIPTIONS

(SEE DETAIL SHEET FOR MORE INFORMATION)

AS	ON-SITE ASPHALT PAVEMENT
CC	CONCRETE CURB
CP	CONCRETE PAD
CW	CONCRETE SIDEWALK
HR	ACCESSIBLE RAMP
LS	LANDSCAPED AREA
PH	ACCESSIBLE PARKING STALL
SB	PAINTED STOP BAR
SR	SIDEWALK REPAIR / REPLACEMENT
ST	PAINTED STRIPING

PROPOSED SIGN DESCRIPTIONS

00	'STOP' SIGN MUTCD R1-1 'DO NOT ENTER' SIGN MUTCD R5-1
01	'STOP' SIGN MUTCD R1-1
12	'NO PARKING ANY TIME' SIGN (GENERAL) MUTCD R7-1 (MOD.)
13	RESERVED PARKING' SIGN (WITHOUT ARROW) MUTCD R7-8 (MOD.) & 'VAN ACCESSIBLE' SIGN MUTCD R7-8a
14	'VAN ACCESSIBLE' SIGN MUTCD R7-8b

ZONE: IND-2 INDUSTRIAL 2
USE: WAREHOUSE & OFFICE BUILDING
OWNER: SPENCE STREET ASSOCIATES LLC

ZONE: IND-1 INDUSTRIAL 1
USE: WAREHOUSE WITH OUTDOOR STORAGE
OWNER: KENNETH HILLMAN

ZONE: IND-2 INDUSTRIAL 2
USE: OFFICE BUILDING WITH OUTDOOR STORAGE
OWNER: 14 SPENCE STREET LLC

ZONE: IND-2 INDUSTRIAL 2
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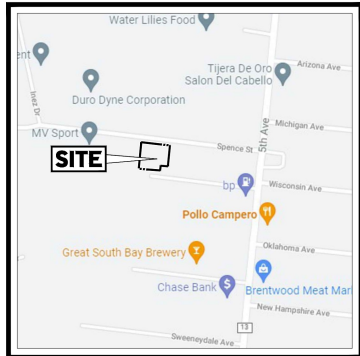
ZONE: IND-2 INDUSTRIAL 2
USE: OFFICE BUILDING WITH OUTDOOR STORAGE
OWNER: 14 SPENCE STREET LLC

SITE PLAN NOTES

- THE GENERAL NOTES ON THE COVER SHEET SHALL BE PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ON THE COVER SHEET ARE REFERENCED HEREIN AND ARE TO BE REFERRED TO BY THE CONTRACTOR. THE CONTRACTOR IS TO FAMILIARIZE HIMSELF AND ACKNOWLEDGES HIS FAMILIARITY WITH ALL THE GENERAL NOTES AS WELL AS ANY AND ALL DRAWING SHEET SPECIFIC NOTES BELOW.
- SIGNS TO BE FILED UNDER SEPARATE DEPARTMENT APPLICATIONS.
- LOCATION OF EXISTING AND PROPOSED SERVICES SHOWN ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR WITH THE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. IF DISCREPANCIES EXIST, NOTIFY THE ENGINEER IMMEDIATELY IN WRITING.
- UNUSABLE MATERIAL, CONSTRUCTION DEBRIS, EXCESS SOILS, ETC. SHALL BE PROPERLY REMOVED & DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES & LAWS.
- THE CONTRACTOR IS RESPONSIBLE TO TAKE EROSION CONTROL MEASURES NECESSARY IN ACCORDANCE WITH NYS GUIDELINES FOR URBAN EROSION & SEDIMENT CONTROL TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT PROPERTIES.
- DIRECTIONAL SIGNAGE TO COMPLY WITH THE LATEST NYS MUTCD STANDARDS.
- ALL SIDEWALKS, CURBS, AND PAVEMENT DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED, WHENEVER SPECIFIED ON THIS PLAN OR NOT.
- ALL ON-SITE CURBING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- RELOCATION AND/OR REMOVAL OF EXISTING UTILITY POLES, TRAFFIC SIGNS, ETC., SHALL BE COORDINATED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FIELD-VERIFYING THEIR PRESENCE.
- EXCAVATION SHALL BE PROPERLY BACKFILLED WITH CLEAN MATERIALS. CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEER REPORTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION TESTING AND SHALL SUBMIT SUCH REPORTS AND RESULTS TO THE ENGINEER OF RECORD AND OWNER.
- WORK WITHIN THE R.O.W. OF SPENCE STREET (TOWN OF ISLIP) SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE TOWN OF ISLIP DEPARTMENT OF PUBLIC WORKS STANDARDS.

TOWN OF ISLIP NOTES

- CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
- OBTAIN A TOWN RIGHT OF WAY PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610).
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCCR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE, AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28B.
- ALL CONSTRUCTION & DEMOLITION (C&D) MATERIALS EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED WYSDC FACILITY. LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE, THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 6A.75 AND 6A.76 SHALL BE FOLLOWED. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OWNER SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES THE UNITS ARE BEING ACCESSED FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.



SITE LOCATION MAP

(N.T.S.)

SOURCE: GOOGLE MAPS 2022

ZONING TABLE

EXISTING ZONE: IND-1 INDUSTRIAL 1 DISTRICT
PROPOSED ZONE: ITD INDUSTRIAL TRANSITION DISTRICT (PENDING ZONE CHANGE APPLICATION)
USE: WAREHOUSE
SPECIAL PERMIT: OUTDOOR STORAGE

APPLICANT/ OWNER INFORMATION

APPLICANT:	VEOLIA NORTH AMERICA 1 EDEN LANE FLANDERS, NJ 07836
PROPERTY OWNER:	VEOLIA NORTH AMERICA 1 EDEN LANE FLANDERS, NJ 07836

BULK REQUIREMENTS

ITEM	CODE	PERMITTED	PROPOSED
MIN. LOT AREA	§ 68-706	40,000 SF	60,743 SF
MIN. LOT WIDTH	§ 68-708	100'	250'
MIN. FRONT YARD	§ 68-709	50'	50' (SPENCE STREET) 47.4' (WISCONSIN COURT)
MIN. SIDE YARD	§ 68-710	10'	77.7' (CANOPY)
MIN. REAR YARD	§ 68-711	25'	N/A
MAX. BUILDING HEIGHT	§ 68-705	60' (4 STORIES)	<20' (1 STORY)
ACCESSORY STRUCTURE PROPERTY LINE SETBACK	§ 68-711	10'	10' (TRASH ENCLOSURE)
MAX. GROSS FLOOR AREA	§ 68-706	30% (18,223 SF)	11.7% 6,787 SF
MIN. PARKING SETBACK TO PROPERTY LINE	SDLR VI-Q-3.5	5'	26.5'
MIN. LANDSCAPE AREA	SDLR VI-Q-3.1	20% (12,149 SF)	21.4% (12,992 SF)
MIN. LANDSCAPE AREA AT FRONT YARD	SDLR VI-Q-3.1	50% OF TOTAL REQUIRED (6,075 SF)	59.4% (7,219 SF)
MIN. LANDSCAPE DEPTH ALONG STREET FRONTAGES	SDLR VI-Q-3.1	8'	26.5'
VARIANCE REQUIRED			

PARKING REQUIREMENTS

ITEM	CODE	PERMITTED	PROPOSED
MIN. STALL SIZE	SDLR VI-L-7.1	9' X 19' (23' AISLE WITH 90° STALLS)	9' X 19' (27' AISLE WITH 90° STALLS)
MIN. NUMBER OF STALLS	SDLR APPENDIX E (12)	7 STALLS	12 STALLS
MIN. NUMBER OF LOADING STALLS	N/A	N/A	4 (12' X 60') 5 (10' X 30')
TOTAL REQUIRED PARKING STALLS = 6,787 / 1,000 = 6.787 = 7 STALLS			
TOTAL PROVIDED PARKING STALLS = 12 STALLS (INCLUSIVE OF 1 ADA STALL)			

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

NYSOT CASE #: N/A
HEALTH DEP. REF. #: N/A

BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
LANDSCAPE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	3/17/2022	CLIENT COMMENTS	AS
2	3/24/2022	CLIENT COMMENTS	AS
3	5/12/2022	CLIENT COMMENTS	AS



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WHETHER IT'S ON PRIVATE OR PUBLIC LAND.
1-800-272-4488
www.newyork-811.com

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT NO.:	N22013
DRAWN BY:	AS
CHECKED BY:	DP
DATE:	3/22/2022
CAD ID.:	N22013-SPPD-06

PROJECT:

PROP. SITE PLAN DOCUMENTS

FOR

VEOLIA NORTH AMERICA

PROPOSED DEVELOPMENT

SEC: 201 | BLK: 1 | LOT: 22.1
22 SPENCE STREET
BAY SHORE, NY
TOWN OF ISLIP
SUFFOLK COUNTY

BOHLER
BOHLER ENGINEERING NY, PLLC

2929 EXPRESSWAY DRIVE NORTH
HAUPPAUGE, NY 11749
Phone: (631) 738-1200
Fax: (631) 285-6464
www.BohlerEngineering.com



SHEET TITLE:

SITE PLAN

SHEET NUMBER:

C-301

REVISION 3 - 5/12/2022