

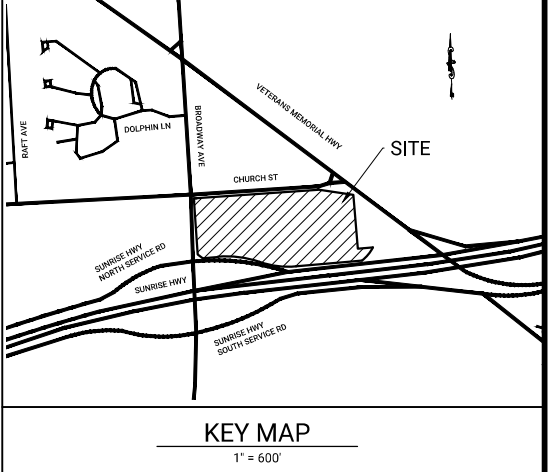
The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

SIGN SCHEDULE

SYMBOL #	SIGN SYMBOL	N.Y.S.D.O.T. SIGN NO.	SIZE OF SIGN	MOUNT TYPE
1		R7-B	12' X 18'	GR. MNTD.
2		R7-A	12' X 18'	GR. MNTD.
3		R1-1	24' X 24'	GR. MNTD.
4		R5-1	30' X 30'	GR. MNTD.
5		R6-1	32' X 12'	GR. MNTD.

NOTES:

- SIGNS OTHER THAN N.Y.S.D.O.T. SPECIFIED, AS PER U.S. STANDARDS SIGN COMPANY TOLEDO, OHIO OR APPROVED EQUAL.
- ALL SIGNS SHALL HAVE A MOUNTING HEIGHT OF 7'-0", AS MEASURED FROM BOTTOM OF SIGN TO FINISHED GRADE.
- ALL SIGNS ARE TO BE REFLECTORIZED.
- A MINIMUM OF TWO CROSS BRACES SHALL BE PROVIDED ON ALL SINGLE CHANNEL SIGNS HAVING A DIMENSION GREATER THAN 24 INCHES.
- ALL SIGN POSTS ABUTTING PARKING STALLS TO BE SET BACK FROM FACE OF CURB A MINIMUM OF 2 FEET (UNLESS OTHERWISE NOTED).



SITE DATA

TOTAL AREA: 799,019.04 SF (18.343 Ac.)
CORNER CUT OFF AREA: 133,675 SF (0.0031 Ac.) CORNER OF BROADWAY AVE. & CHURCH STREET
TOTAL NET AREA: 798,855.37 SF (18.3399 Ac.)
EXISTING ZONE: BUSINESS 3 (BUS3) / INDUSTRIAL CORRIDOR DIST. (ICD)
PROPOSED ZONE: BUSINESS 3 (BUS3) *
EXISTING USE: SHOPPING CENTER
PROPOSED USE: SHOPPING CENTER **
EXISTING GROSS FLOOR AREA: +/- 282,000 SF (35.29%)
EXISTING FLOOR AREA RATIO: 282,000 SF / 799,019.04 SF = 0.3529
PROPOSED BUILDING FOOTPRINT: 176,430.00 SF
PROPOSED GROSS FLOOR AREA: 177,413.00 SF (22.20%)
PROPOSED FLOOR AREA RATIO: (177,413 SF / 799,019.04 SF) = 0.22
DISTRICT 0500, SECTION 238, BLOCK 1, LOT 7
OWNER INFORMATION: BLUMENFELD DEVELOPMENT GROUP
300 ROBINS LANE
SYOSSET, NY 11791

- * PROPOSED CHANGE OF ZONE FROM SPLIT BUS3 & ICD TO ALL BUS3
** TOWN BOARD SPECIAL PERMIT REQUIRED FOR FAST-FOOD RESTAURANT WITH DRIVE-THROUGH
TOWN BOARD SPECIAL PERMIT REQUIRED FOR OUTDOOR SEATING AS AN ACCESSORY USE TO RESTAURANT

ZONING COMPLIANCE TABLE:

PROPOSED BUSINESS 3 DISTRICT			
	BUS3	PROPOSED	
§ 68-306 A	BUILDING HEIGHT (MAX)	35'	35'
§ 68-307 A	LOT OCCUPANCY/FAR (MAX)	0.25	0.21
§ 68-308 C	AREA DENSITY (MIN)	20,000 SF	>20,000 SF
§ 68-310 A.5	LOT WIDTH (MIN)	100'	>100'
§ 68-311 A	FRONT YARD (MIN)	SUNRISE HWY SERVICE ROAD	55.2' *
		BROADWAY AVENUE	25'
		CHURCH STREET	25'
§ 68-312 B	SIDE YARDS (MIN)	25'	73.6'
§ 68-313 A	REAR YARD (MIN)	10'	N/A
§ 68-315 C	BUFFER AREA ADJACENT TO RESIDENTIAL ZONE (MIN)	25'	34.5'

* VARIANCE REQUIRED FOR ARTERIAL HIGHWAY SETBACK ON SUNRISE HIGHWAY SERVICE ROAD - 4.8' DEFICIENT

PARKING CALCULATIONS

PARKING REQUIRED:	
RETAIL SHOPPING CENTER (MORE THAN 25,000 SF)	1 STALL PER 175 SF @ 140,500 SF = 802.9 STALLS
RESTAURANTS/FAST-FOOD (12 CAR QUEUE REQ. *)	1 STALL PER 100 SF @ 7,857 SF = 78.6 STALLS
MEDICAL OFFICE BUILDINGS	1 STALL PER 150 SF @ 3,500 SF = 23.3 STALLS
BANKS (12 CAR QUEUE REQ. *)	1 STALL PER 200 SF @ 12,000 SF = 60.0 STALLS
TOTAL	= 965 STALLS

PROVIDED:

PAVED PARKING STALLS (9' WIDE X 19' LONG & 23' DRIVE AISLE)	= 987 STALLS
TOTAL (INCLUDING 37 ADA STALLS)	= 987 STALLS

* VARIANCE REQUIRED FOR LESS THAN 12 CAR DRIVE-THRU QUEUE:

- BUILDING 1 - BANK, 10 CAR QUEUE
- BUILDING 4 - STARBUCKS, 5 CAR PRE-ORDER QUEUE
- BUILDING 5 - BANK, 7 CAR QUEUE

3. REVISE PER CLIENT	7-06-22	MJM		
2. REVISE PER CLIENT	6-27-22	MJM		
1. REVISE TENANT PAD	9-31-22	GT		
No. REVISION DESCRIPTION	DATE	BY		
OWNER: BLUMENFELD DEVELOPMENT GROUP 300 ROBINS LANE SYOSSET, NY 11791	CONCEPTUAL PLAN			
APPLICANT: BLUMENFELD DEVELOPMENT GROUP 300 ROBINS LANE SYOSSET, NY 11791	SUN VET MALL SITUATED IN THE HAMLET OF HOLBROOK TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK			
SCRM: DISTRICT 0500, SECTION 238, BLOCK 01, LOT 07				
Robinson & Muller Engineers, P.C. 50 Elm Street Huntington, NY 11743 Office: (631) 271-0576 Fax: (631) 271-0592 www.rmengineering.com				
OWN BY: CB	CHKD BY: GT	SCALE: 1"=50'		
DATE: 01-25-22	DATE: 01-28-22	JOB No.: 2021-226		
SHEET: CP-1				