

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

**SITE DATA**

TOTAL AREA:	799,019.04 SF (18.343 Ac.)
CORNER CUT OFF AREA:	133.67 SF (0.0031 Ac.) CORNER OF BROADWAY AVE. & CHURCH STREET
TOTAL NET AREA:	798,885.37 SF (18.3399 Ac.)
EXISTING ZONE:	BUSINESS 3 (BUS 3) / INDUSTRIAL CORRIDOR DIST. (ICD)
PROPOSED ZONE:	BUSINESS 3 (BUS 3) *
EXISTING USE:	SHOPPING CENTER
PROPOSED USE:	SHOPPING CENTER **
EXISTING GROSS FLOOR AREA:	279,561 SF (34,999)
EXISTING FLOOR AREA RATIO:	279,561 SF / 799,019.04 SF = 0.3499
PROPOSED BUILDING FOOTPRINT:	173,885.00 SF
PROPOSED FLOOR AREA RATIO:	180,435.40 SF (180,435.40 SF / 799,019.04 SF) = 0.226
OWNER INFORMATION:	BLUMENFELD DEVELOPMENT GROUP 300 ROBINS LANE SYOSSET, NY 11791

**ZONING COMPLIANCE TABLE:**

PROPOSED BUSINESS 3 DISTRICT	REQUIRED	PROPOSED
§ 68-306.A BUILDING HEIGHT (MAX)	35'	0.226
§ 68-307.A LOT OCCUPANCY-FAR (MAX)	0.25	~20,000 SF
§ 68-308.C AREA DENSITY (MIN)	20,000 SF	~100
§ 68-310.A.5 LOT WIDTH (MIN)	100'	55.3'
§ 68-311.A FRONT YARD (MIN)	100'	32.0'
SUNRISE HWY SERVICE ROAD BROADWAY AVENUE	25'	25.0'
§ 68-312.B SIDE YARDS (MIN)	25'	79.9'
§ 68-313.A REAR YARD (MIN)	10'	N/A
§ 68-315.C BUFFER AREA ADJACENT TO RESIDENTIAL ZONE (MIN)	25'	34.5'

\* VARIANCE REQUIRED FOR ARTERIAL HIGHWAY SETBACK ON SUNRISE HIGHWAY SERVICE ROAD - 4.7 DEFICIENT

**PARKING CALCULATIONS**

**REQUIRED:**

#1 BANK	3,150 SF @ 1 STALL PER 200 SF	= 15.8 STALLS
#2A RESTAURANT	3,185 SF @ 70 SEATS @ 1 STALL PER 2 PERM. SEATS	= 35.0 STALLS
#2B RETAIL (> 25,000 SF)	1,500 SF @ 1 STALL PER 175 SF	= 8.6 STALLS
#3 DIV. RETAIL (> 25,000 SF)	11,858 SF @ 1 STALL PER 175 SF	= 67.8 STALLS
#4 FAST-FOOD	1,512 SF @ 0 SEATS @ 1 STALL PER 100 SF	= 15.2 STALLS
#5 BANK	3,150 SF @ 1 STALL PER 200 SF	= 15.8 STALLS
#6A MEDICAL OFFICE	3,500 SF @ 1 STALL PER 150 SF	= 23.4 STALLS
#6B RESTAURANT	4,000 SF @ 80 SEATS @ 1 STALL PER 2 PERM. SEATS	= 40.0 STALLS
#7 BANK	4,000 SF @ 1 STALL PER 200 SF	= 20.0 STALLS
#8 RETAIL (> 25,000 SF)	130,000 SF @ 1 STALL PER 175 SF	= 788.8 STALLS
MEZZANINE	3,000 SF @ 1 STALL PER 175 SF	= 17.2 STALLS
<b>TOTAL</b>		<b>= 1,048 STALLS</b>

**PROVIDED:**

PAVED PARKING STALLS (9' WIDE x 19' LONG & 23' DRIVE AISLE) = 925 STALLS  
 LANDBANKED PARKING = 20 STALLS  
**TOTAL (INCLUDING 3 ADA STALLS) = 945 STALLS**

[V1] VARIANCE REQUIRED FOR LESS THAN 12 CAR DRIVE-THRU QUEUE:  
 • BUILDING 1 - BANK, 11 CAR QUEUE  
 • BUILDING 4 - STARBUCKS, 5 CAR PRE-ORDER QUEUE  
 • BUILDING 5 - BANK, 7 CAR QUEUE

[V2] VARIANCE REQUIRED FOR 103 STALLS WHERE 1,048 STALLS ARE REQUIRED (9.8%)

**LANDSCAPE CALCULATIONS**

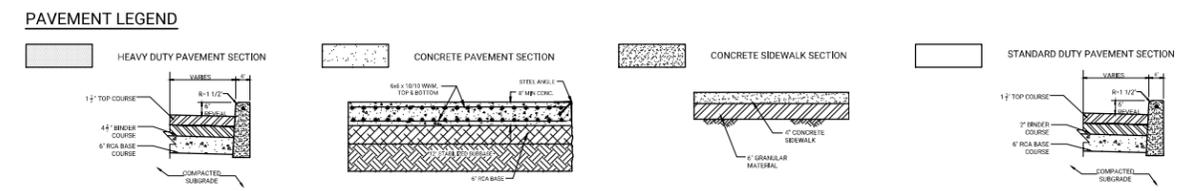
REQUIRED LANDSCAPING TOTAL AREA	= 799,019.04 SF
TOTAL REQUIRED LANDSCAPING (799,019.04 SF x 0.2%)	= 159,803.80 SF
REQUIRED FRONT YARD LANDSCAPING (159,803.81 SF x 0.5%)	= 79,901.90 SF

LANDSCAPING PROVIDED\* = 114,848.2 SF (14.4%)  
 TOTAL LANDSCAPE AREA = 51,738.5 SF (45.0%)  
 FRONT YARD LANDSCAPE

\*LANDSCAPE VARIANCE REQUIRED FOR TOTAL LANDSCAPING AND FRONT YARD LANDSCAPING

**SIGN SCHEDULE**

SYMBOL #	SYMBOL	N.Y.S.D.O.T. SIGN NO.	SIZE OF SIGN	MOUNT TYPE
1	[Symbol]	R7-8	12" X 18"	GR. MNTD.
2	[Symbol]	R7-4	12" X 18"	GR. MNTD.
3	[Symbol]	R1-1	24" X 24"	GR. MNTD.
4	[Symbol]	NVRS-14	24" X 30"	GR. MNTD.
5	[Symbol]	R2-1	24" X 24"	GR. MNTD.



SCDS # C-22-0318  
TOWN FILE # CZ-2022-028

**ALIGNMENT PLAN - OVERALL**

SUN VET MALL  
SITUATED IN THE  
HAMLET OF HOLBROOK  
TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK

SCDM: DISTRICT 0500, SECTION 238, BLOCK 1, LOT 07

**R&M ENGINEERING**  
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Fax: (631) 271-9592  
www.rmengeering.com

Christopher W. Robinson, P.E.  
NY State License No. 067519

DWN BY: MJM CHKD BY: GT SCALE: 1"=50'  
DATE: 11-04-22 DATE: 11-07-22 JOB NO.: 2021-226 SHEET: SP-1

Drawing Name: P:\2021 Projects\2021-226\SUNVET\DWG\SP-1.dwg  
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