

ZONING COMPLIANCE TABLE :
Existing Zoning: Town of Islip Industrial 1 - IND 1
Proposed Zoning: Town of Islip Industrial Transition District - ITD

	Required / Permitted	Proposed
Min. Lot Area (Square Feet)	40,000	100,324
Min. Width of Lot (Feet)	100	265.79
Min. Front Yard Setback (Feet)	50	66
Min. One Side Yard Setback (Feet)	10	29.80
Min. Total Side Yard Setback (Feet)	20	71.55
Min. Rear Yard Setback (Feet)	25	58
Max. Floor Area Ratio (%)	30 (30,097 sf)	40.11 * (40,241 sf)
Max. Height (Feet)	60	34
Total Landscaping (% / Square Feet)	20% (20,065 sf)	15.01% / (15,057 sf) **
Front Yard Landscaping (% / Square Feet)	50% of Req. (10,032.5 sf)	34.13% / (6,849 sf)***

PARKING CALCULATIONS

Proposed Building Use = Industrial / Warehouse

Town Of Islip Requirement

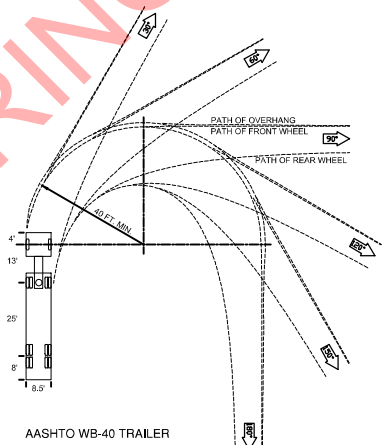
Industrial / Warehouse

1 Space per 1,000 SF of Building (Warehouse) = 34,204.85 SF (85% of Floor Area)
1 Space per 200 SF of Building (Office) = 6,036.15 SF (15% of Floor Area)
(34,204.85 SF / 1,000 + 6,036.15 SF / 200) = 64.4 Spaces
Total Parking Required = 65 Spaces

Parking Provided = 38 spaces (6 Landbanked) ****

Per ADA, 2 Handicap Spaces (Min.) Required. 2 Spaces Provided.

* 10.11% FAR Relaxation.
** 4.99% Total Landscaping Relaxation.
*** 15.87% Front Yard Landscaping Relaxation.
**** 41.54% Parking Relaxation



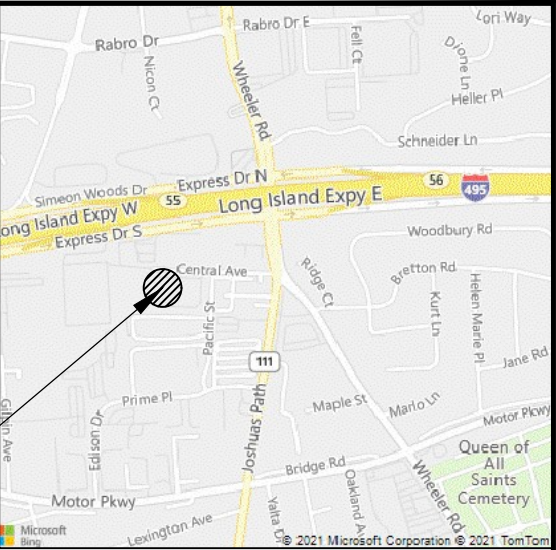
VEHICLE TURNING TEMPLATE

Scale: 1" = 30'

Project Site

Key Map

Scale: 1" = 600'



The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

REV. NO.	DATE	DESCRIPTION
DRAWING		Concept Site Plan
PROJECT		Change of Zone 0 Central Avenue Industrial Building Hauppauge, New York 11788 SCTM: 500-039-02-14.5
APPLICANT		ISP Central Distr LLC 687 Old Willets Path Hauppauge, New York 11788 (631) 435-1818
PREPARED BY		R & W / Engineers, P.C. 380 Townline Road, Ste. 150 Hauppauge, New York 11788 (631) 969-8535
DWG. SCALE:	DESIGN BY:	PROJECT NO.
As Noted	MLW	CA101
DRAWN BY:	CHECKED BY:	DATE
MCO	LAR	MARCH 2023
		DWG. NO.
		ZC1.0

Reference Note:
Subject property boundary survey and topographic information from plan prepared by Barrett, Bonacci & Van Weale, 175A Commerce Drive, Hauppauge, New York 11788 revised February 4, 2022. Elevations are in NAVD 1988 datum.

