

ALL WORK ALONG MONTAUK HWY. SUBJECT TO NYSOT APPROVAL. REFER TO PLAN PREPARED FOR NYSOT APPROVAL.

ZONING ANALYSIS TABLE

Code Article	Proposed BD Code Section	Required Zone Bd	Existing Condition	Proposed Condition (No Change)
Min. Lot Area (Sq. Ft.)	§ 68-263	7,500	34,349.2	34,349.2
Min. Width of Lot (Ft.)	§ 68-264	65	266	266
Front Yard Setback (Ft.)	§ 68-265	1	9.3	9.3
Second Corner F.Y. Setback (Ft.)	§ 68-265	10	196.1	196.1
Min. Side Yard, One Side (Ft.)	§ 68-266	0	5.7	5.7
Min. Total Both Side Yards (Ft.)	§ 68-266	0	N/A	N/A
Min. Rear Yard Setback (Ft.)	§ 68-267	10	43	43
Max. F.A.R. (%)	§ 68-261	60%	29.1%	29.1%
Max. Height (Ft.)	§ 68-260	35'	26'	26'
Landscape Area Front (%)	See Notes Below &		67.8%	67.8%
Landscape Area Total (%)	See Landscape Calculations		29.7%	29.7%

NOTES:
Landscape Area Shall Be 20% of Total Lot Area
Front Landscape Area Shall Be 50% of The 20% Total Lot Area per Subdivision and Land Development Regulations (Not Incl. Buffers)

1. A SEPARATE SIGN PERMIT SHALL BE REQUIRED PRIOR TO ANY INSTALLATION.

PARKING CALCULATION

USE	REQUIREMENT	UNITS	REQUIREMENT
RETAIL	1 STALL / 150 S.F. G.F.A.	5,000 S.F.	33.3 STALLS
APARTMENTS	1.75 STALL / UNIT < 3 BEDROOMS	5 UNITS	8.75 STALLS
ADA REQ'T.	2 ACCESSIBLE STALLS FOR 26-50 STALLS	36 STALLS PROVD.	2 STALLS

TOTAL STALLS REQUIRED 42.08 STALLS.
TOTAL STALLS PROVIDED 36 STALLS.
(INCL. 2 ACCESSIBLE)
LAND BANK STALLS PROVIDED 2 STALLS
DEFICIT 4.08 STALLS.
% DEFICIT 9.7%

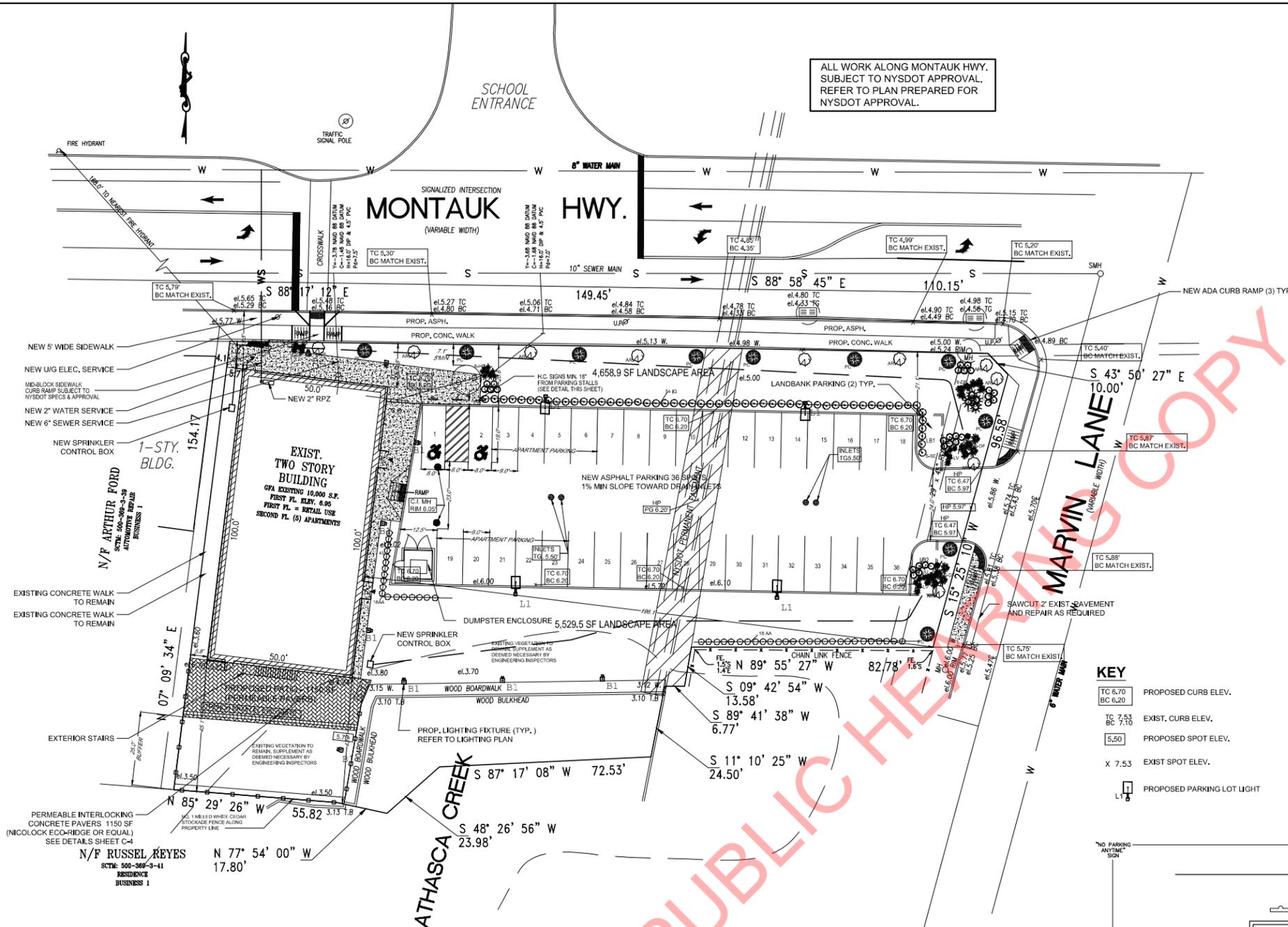
LANDSCAPE CALCULATION

ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LANDSCAPE AREA	20% OF 34,349.2 = 6,870	0%	10,188.4 SF
LANDSCAPE AREA FRONT	50% OF 6,870 = 3,435	0%	4,658.9 SF
STREET TREES	400 LF / 20 FT = 20 EA.	0	20 EA.

LANDSCAPE PLANTING SCHEDULE

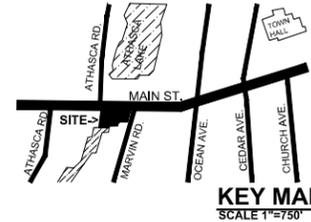
QTY.	LABEL	BOTANICAL NAME	COMMON NAME	NOTES
TREES				
10	PC	Pyrus Calleryana	Callery Pear	4" caliper/ wire friendly variety
10	AR	Acer rubrum	Red Maple	4" caliper/ wire friendly variety
36	AA	Thuja occidentalis	Nigra Arborvitae	5' - 6' ht.
SHRUBS				
4	HY	Hydrangea	Endless Hydrangea	5 gallon
54	JG	Ilex glabra	Inkberry	18" - 24" ht.
24	JU	Juniperus conferta	Shore Juniper	3 gallon
PERENNIALS				
8	HO	Hosta in variety	Hosta	1 gallon
3	LV	Lavandula 'Hidcote'	Perennial Lavender	1 gallon
10	SE	Sedum 'Autumn Joy'	Perennial Sedum	1 gallon

NOTE: PROPOSED GROUND COVER IN LANDSCAPED AREAS SHALL BE TOP SOIL & SEED
NOTE: ALL TREES 10" CALIPER OR GREATER ON-SITE TO BE PRESERVED TO THE MAXIMUM EXTENT POSSIBLE UNLESS DISEASED OR COMPROMISED.
NOTE: INGROUND IRRIGATION SYSTEM REQUIRED ALONG ENTIRE ROAD FRONTAGES AND BUFFER ZONES.



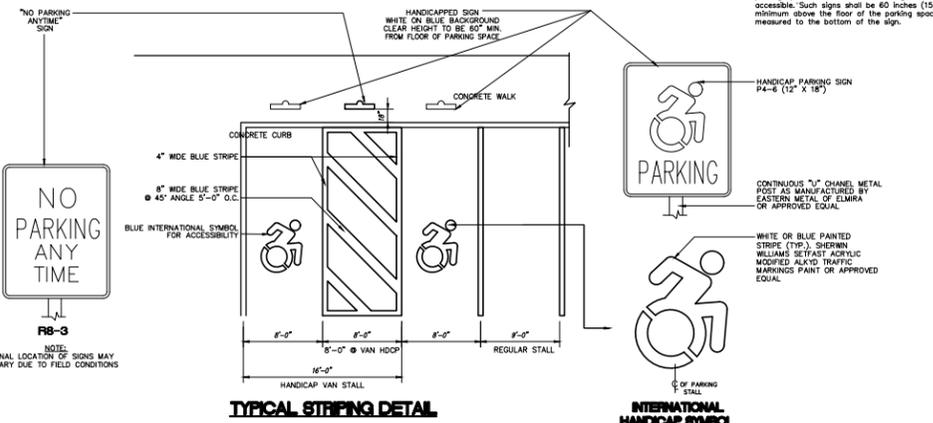
SITE PLAN
SCALE: 1"=20'

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



KEY MAP
SCALE 1"=750'

- KEY**
- TC 6.70 PROPOSED CURB ELEV.
 - TC 7.53 EXIST. CURB ELEV.
 - 5.50 PROPOSED SPOT ELEV.
 - X 7.53 EXIST SPOT ELEV.
 - L1 PROPOSED PARKING LOT LIGHT



TYPICAL STRIPING DETAIL

INTERNATIONAL HANDICAP SYMBOL

SCTM: 500-370-3-1.7

NOTE: PLANS HAVE BEEN REVIEWED, UPDATED AND AMENDED PER ISLIP TOWN ENGINEER COMMENTS BY:
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Revisions:

10	4/04/23 REV. PER TOWN OF ISLIP COMMENTS -CML
9	3/6/23 REV. SECOND FLOOR TO APARTMENT USE -CML
8	08/24/21 REV. PLANS PER TOWN ZONING COMMENTS
7	07/08/21 REV. PLANS PER TOWN COMMENTS
6	05/29/21 REV. PLANS PER TOWN SVO COMMENTS
4	08/14/20 REV. PLANS PER OWNER
3	9/5/18 REV. PER TOWN OF ISLIP COMMENTS -CML FOR CONSTRUCTION
2	01/26/20 REV. PLANS PER TOWN COMMENTS

Project: **The Laundry Room Realty Co., LLC**
204 E. MAIN ST.
ISLIP, NY

Drawing: **PROPOSED SITE PLAN**

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Date:	3/14/17
Scale:	NOTED
Drawn by:	MDR
Chk. by:	MDR

© Date: 3/14/17

Drawn No. **C-2**

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