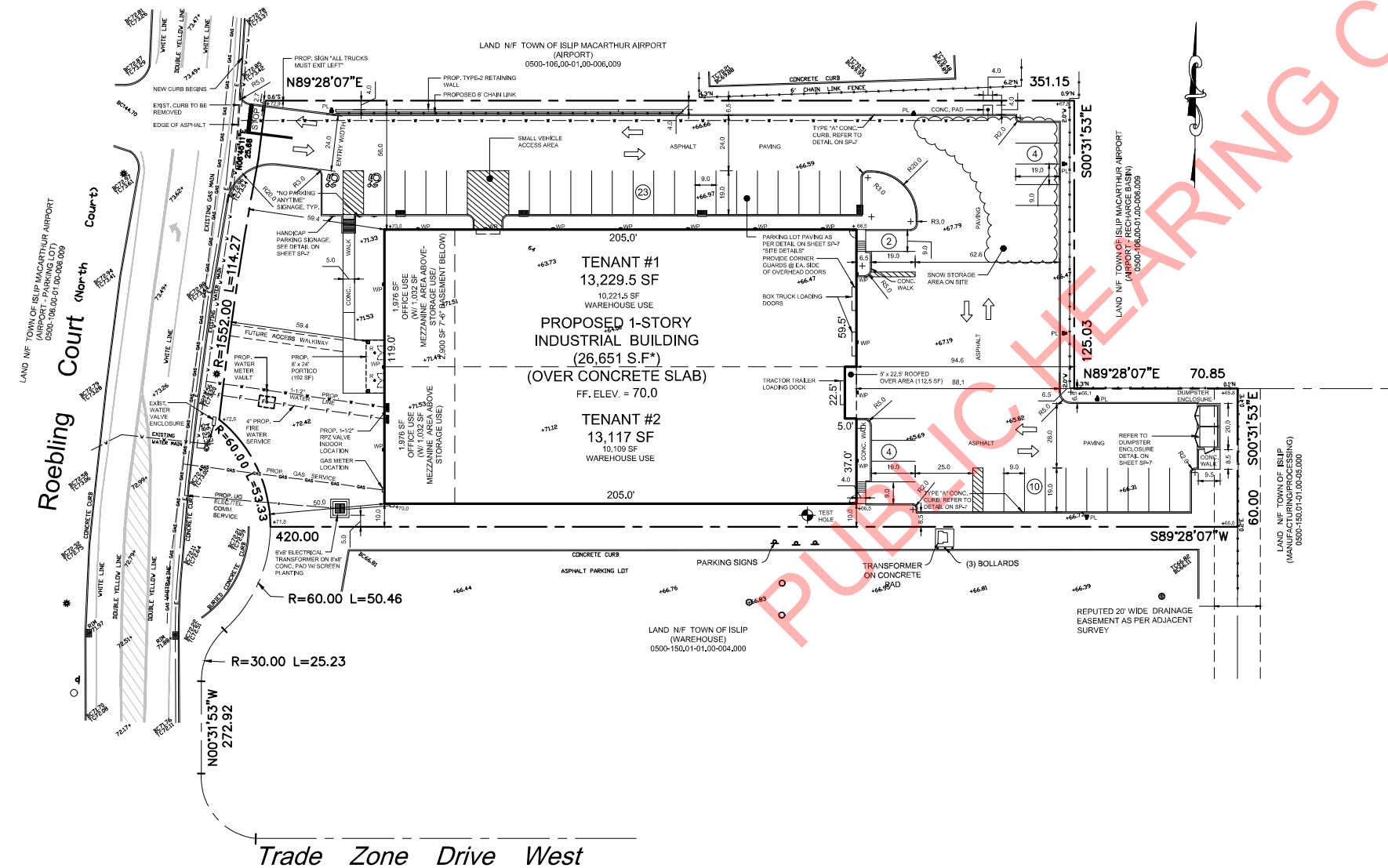


The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



SITE PLAN

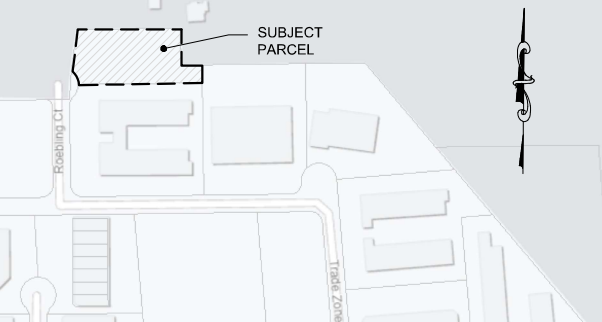
SCALE: 1"=30'

S.C.T.M. NO. 0500-150.01-01.00-002.001

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- SP-7 - SITE DETAILS

LOCATION MAP



ENGINEERING NOTES:

CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.

COORDINATE & COMPLETE ALL UTILITY RELOCATIONS, ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.

OBTAIN A TOWN RIGHT OF WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY (631-224-5610).

CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, & EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.

PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN, COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED & SUBJECT TO LEGAL ACTION.

CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.

ALL EXISTING OR PROP. SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.

ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE, RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED, DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".

LOAD TICKETS REQUIRED FOR ALL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE, & QUALITY OF MATERIALS, ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28B.

ALL C&D MATERIALS EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY, LOAD/TRANSFER TICKETS TO BE RETAINED & COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.

THE ISLIP SUBDIVISION & LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.

APPLICATIONS REQ. THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE, THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS & SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL, PAGES 5A.75 & 5A.76 SHALL BE FOLLOWED. CONSTRUCTION & DEMOLITION DEBRIS MATERIALS SHALL BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.

REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS &/OR FUMES. APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESSED FOR LOADING OR UNLOADING OF DUMPSTER.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITERS LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

SITE DATA

S.C.T.M. #	0500-150.01-01.00-002.001
SITE AREA	70,890 SQ.FT. (1.63 AC)
ZONED	INDUSTRIAL DISTRICT 1
USE	INDUSTRIAL - WAREHOUSE
DATUM	NGVD88
SURVEY PREPARED BY	AJC LAND SURVEYING PLLC
BUILDING AREA	24,282.5 S.F.
MEZZANINE AREA	2,064 S.F.
PORTICO & ROOFED OVER AREA	304.5 S.F.
GROSS FLOOR AREA (GFA)	26,651 S.F.

	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA	20,000 S.F.	70,890 S.F.
PARTIAL BUILDING AREA [FAR "MEZZANINE AREA NOT INCLUDED"	24,811.5 S.F. .35	24,587 S.F. .35
MEZZANINE AREA	2,064 S.F.	2,064 S.F.
GROSS FLOOR AREA (GFA)	---	26,651 S.F.*
FLOOR AREA RATIO (FAR) - "§ sec. 68-344 "MEZZANINE"	.35 + .10 "MEZZANINE" = .45	.38*
MAXIMUM HEIGHT (FT/STORIES)	60' / 4-STORIES	34'-0" RIDGE HEIGHT 28'-0" EAVE HEIGHT
MINIMUM ROAD FRONTAGE (FEET/AT A POINT IN FEET BACK FROM STREET LINE)	100'	193.28'
MINIMUM FRONT YARD / TOTAL REQ. LANDSCAPING AREA (%)	50'	50'
TOTAL REQ. FRONT YARD LANDSCAPE AREA	14,178 S.F. (20%) 7,089 S.F. (50%)	16,665.1 S.F. 7,536.1 S.F.
MINIMUM REAR YARD	25'	94.6'
MINIMUM SIDE YARD	10'	10'
MINIMUM SIDE YARD TOTAL	20'	66'
MINIMUM DEPTH OF LANDSCAPING ALONG STREET FRONTAGE	8'	---

ON SITE QUANTITIES	PROPOSED
CONCRETE ASPHALT CURB	1,127.7 L.F.
CONCRETE SIDEWALK	1,280.7 S.F.
PAVED AREA	27,720.8 S.F.
#OF CATCH OR LEACHING BASINS	8
STORM PIPE	1,126.7 L.F.
FENCE	114.75
SEEDS AREA	16,887.8 S.F.
STORM POOLS	15

PARKING REQUIRED:	TOTAL REQ:	TOTAL PROVIDED:
(A) WAREHOUSE 20,330.5 S.F. @ 1 STALL/ 1,000 S.F.=	20.33 STALLS	----
(B) OFFICE 3,952 S.F. @ 1 STALL/ 200 S.F. =	19.76 STALLS	----
(C) MEZZANINE 2,064 S.F. @ 1 STALL/ 1,000 S.F. =	2.06 STALLS	----
TOTAL AREA = 26,346.5 S.F. "PORTICO & RO AREA NOT INCLUDED"	42.15 STALLS	43 STALLS

ENSPIRE
Design Group, PLLC

Architect
ENSPIRE DESIGN GROUP, PLLC
4864 EXPRESS DR. SOUTH, SUITE 1
RONKONKOMA, NEW YORK, 11779
Phone: 631-471-9500 Fax: 631-471-9510
info@enspirepllc.com www.enspirepllc.com
MICHAEL F. MORRILLO, AIA - Principal
New York State License #25202

Mechanical, Electrical, Plumbing Consultant

LANDLORD/OWNER:
TOWN OF ISLIP FOREIGN TRADE ZONE
1 TRADE PLAZA DRIVE, RONKONKOMA NY 11779
TEL. 631-688-6767

APPLICANT/TENANT LEASEE:
101 ROEBLING LLC
60-28 261ST STREET, GLEN OAKS, NY 11004
TEL. 917-967-2321

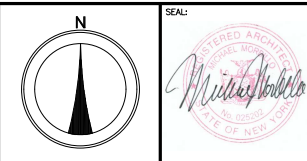
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General Notes

+ 155.0	PROP. SPOT ELEVATION
(TC 100.0)	PROP. TOP OF CURB ELEVATION
(P 100.0)	PROP. PAVEMENT ELEVATION
+ 155.0	EXIST. SPOT ELEVATION
--- (104) ---	EXIST. CONTOURS
--- W ---	PROP. CURB
--- F ---	DOMESTIC WATER SERVICE
--- (E) ---	FIRE WATER SERVICE
---	ELECTRIC SERVICE/TEL. COMMUNICATION LINE
---	GAS SERVICE
---	EXIST. UTILITY POLE
---	DRAIN FLOW ARROW
---	PROP. CONCRETE WALK
(G. ELEV.)	PROP. LEACHING POOL (OPEN GRATE)
(M. ELEV.)	PROP. LEACHING POOL (SOLID COVER)
(CB. ELEV.)	PROP. CATCH BASIN (OPEN GRATE)
(M. ELEV.)	PROP. STORM DRAIN MANHOLE (SOLID COVER)

5	3/30/23	Town comments
4	1/3/23	Town comments
3	10/4/22	Retaining wall detail added
2	8/1/22	Town comments
1	4/7/22	Intake review revisions
No.	Date	Revision Description



PROJECT TITLE:
PROPOSED INDUSTRIAL BUILDING FOR 101 ROEBLING LLC
101 ROEBLING COURT, RONKONKOMA, N.Y. 11779
SCTM# 0500-150.01-01.00-002.001
TOWN REF.#: SP2022-019

TITLE SHEET:	
SITE PLAN	
PROJECT NO. 21-119	SHEET NO.
DATE: 3/11/22	SP-1
DESIGN BY: MICHAEL F. MORRILLO, AIA	
DRAWN BY: AJC	
CHECKED BY: MFH	
SCALE:	