

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

ENGINEERING NOTES:

CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.

COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS, ALL UTILITIES SHALL BE INSTALLED BELOW GRADE. OBTAIN A TOWN ROADWAY WORK PERMIT (631-224-5610)

CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.

PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.

CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.

ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT. IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.

ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES."

LOAD TICKETS REQUIRED FOR ALL MATERIALS BROUGHT ON SITE. IDENTIFYING THE SOURCE, AND QUALITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 258.

ALL C&D MATERIALS EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY. LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.

THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.

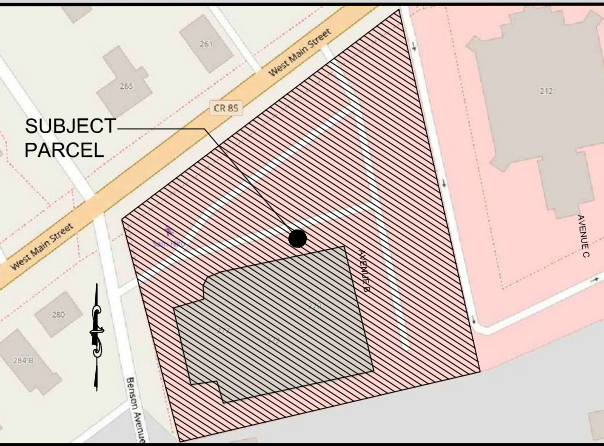
APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 5A.75 AND 5A.76, CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.

REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

LOCATION MAP



SITE DATA

S.C.T.M. #	500-408-03-1
SITE AREA	70,693 SQ.FT. (1.62 AC)
TOTAL BUILDING AREA	1-STORY - 19,868 SQ.FT.
% OCCUPANCY/FAR	28.1%
BUILDING HEIGHT	23.0'
SURVEY PREPARED BY	BARRETT, BONACCI & VAN WEELE, PC
DATUM	NAVD(1988) U.S.C.&G.S.
ZONED	(B-1) BUSINESS
PROPOSED USE	BARBERSHOP

SEWAGE DISPOSAL SYSTEM DESIGN (EXISTING SYSTEM)				
#	TENANTS	USE	AREA	DESIGN SANITARY FLOW RATE GREY/ KITCHEN FLOW
1	DOLLAR TREE	RETAIL	12,188 S.F.	X 0.03=365.6 GPD
2	BARBERSHOP	RETAIL/ WET STORE	2,185 S.F.	X 0.03=65.6 GPD X 0.07 =153.0 GPD
3	LAW OFFICES OF GACOVINO	OFFICE	3,785 S.F.	X 0.06=227.1 GPD
4	WAREHOUSE	UTILITY	1,710 S.F.	X 0.03=51.3 GPD
TOTAL			19,868 S.F.	709.6 GPD 153.0 GPD

NOTES:
GRANDFATHER FLOW CALCULATION AS PER SCDS REF # SA 113 (11/19/1971)
SUPERMARKET 15,625 S.F. @ 0.03 GPSF 468
OFFICE SPACE 8,000 S.F. @ 0.06 GPSF + 480
TOTAL GRANDFATHERED FLOW 948 GPD

GROUNDWATER MANAGEMENT ZONE VI
EXISTING SYSTEM:
TOTAL ALLOWABLE SANITARY FLOW (300 x 1.62): 486.0 GPD
TOTAL GRANDFATHERED SANITARY FLOW: 948.0 GPD
TOTAL DESIGN SANITARY FLOW (SEE ABOVE): 709.6 GPD
MAX ALLOWANCE FLOW : 948.0 GPD > 709.6 GPD

SANITARY DESIGN SPECIFICATIONS

SEWAGE DISPOSAL SYSTEM DESIGN (EXISTING SANITARY SYSTEM):
862.6 GPD SANITARY & GREY WATER FLOW (709.6 GPD + 153 GPD)
EXIST. SEPTIC TANK
862.6 GPD X 2 DAYS = 1,725.2 GALLONS TOTAL CAPACITY REQ.
THEREFORE UTILIZE EXISTING CYLINDRICAL 1,800 SEPTIC TANK

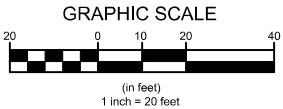
EXIST. LEACHING POOLS
862.6 GPD / 1.5 GPD. SF. = 575.1 S.F.
575.1 SFLA / 31.4 = 18.3 VERT. FT.
THEREFORE UTILIZE EXIST. (3) 10'-0" DIA. X 7'-0" EFFECTIVE DEPTH LEACHING POOL = 21.0 VERT. FT. > 18.3 VERT. FT. REQUIRED

SANITARY SYSTEM GENERAL NOTES

- SEWAGE DISPOSAL SYSTEM TO CONFORM TO SUFFOLK COUNTY DEPT. OF HEALTH REQUIREMENTS
- LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES SHOWN ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH THE UTILITY COMPANIES AND LANDLORD BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- ALL CURBS, SIDEWALK, PAVEMENT AND LANDSCAPING DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN-KIND BY THE CONTRACTOR PER TOWN SPECS
- CONTRACTOR TO VERIFY EXISTING CONDITIONS AS SHOWN PRIOR TO CONSTRUCTION IF DISCREPANCIES EXIST. THE CONTRACTOR MUST NOTIFY OWNERS AND ARCHITECT IMMEDIATELY
- THERE ARE NO NEIGHBORING WELLS WITHIN 150 FEET OF PROPERTY

PARKING COMPUTATIONS

PARKING REQUIRED:	
EXISTING RETAIL: 12,188 S.F. @ 1 STALL/ 150 S.F. =	81.26 STALLS
PROPOSED PERSONAL SERVICE: 2,185 S.F. @ 1 STALL/ 150 S.F. =	14.57 STALLS
EXISTING OFFICE: 5,495 S.F. @ 1 STALL/ 200 S.F. =	27.48 STALLS
TOTAL:	123.31 STALLS
TOTAL REQUIRED:	124 STALLS
TOTAL PREVIOUSLY REQUIRED (1996):	132 STALLS
TOTAL PREVIOUSLY APPROVED (1996):	86 STALLS
TOTAL PROVIDED (EXISTING):	83 STALLS
PROPOSED PARKING RELAXATION:	41 STALLS



MINOR SITE PLAN

SCALE: 1"=20'

ENSPIRE
Design Group, PLLC

Architect
ENSPIRE DESIGN GROUP, PLLC
4864 EXPRESSWAY DRIVE S., SUITE 1
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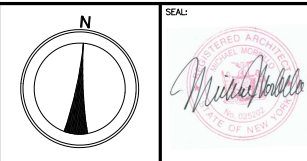
Mechanical, Electrical, Plumbing Consultant

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General Notes

No.	Date	Revision Description
1.	4/28/23	PLANNING COMMENTS



PROJECT TITLE:
SITE PLAN FOR BONHOMME BARBERSHOP LLC
272 WEST MAIN STREET, SAYVILLE, N.Y. 11782
SCTM# 0500-408-3-1

TITLE SHEET:
SITE PLAN

PROJECT NO. **22-098**
DATE: **12-22-2022**
DESIGN BY: **MICHAEL F. MORRILLO, AIA**
DRAWN BY: **JAB**
CHECKED BY: **MFH**
SCALE:
SP-1
1 OF 1