

**CHANGE OF USE AT EXISTING BUILDING**  
**214 UNION BLVD. WEST ISLIP, NY 11795**  
**TOWN OF ISLIP**  
**ARCHITECT: ERIK A. BJORNEBY, RA**

TOWN OF ISLIP  
STANDARD NOTES

OWNER INFORMATION

OWNER:  
ADDRESS:  
  
TELE NUMBER:  
EMAIL:

THOMAS KURTZ  
214 UNION BLVD.  
WEST ISLIP, NY 11745  
(516) 835-8365  
TKMKT@KURTZZ1212TIGMAIL.COM

APPLICANT & ARCHITECT INFORMATION

APPLICANT:  
ADDRESS:  
  
TELE NUMBER:  
EMAIL:

EAB ARCHITECTURAL DESIGNS  
ERIK BJORNEBY, RA  
4250 VETERANS MEM. HWY  
SUITE 204DN  
HOLBROOK, NY 11741  
(631) 314-1041  
EBKD@EABARCHITECTURE.COM

SURVEY INFORMATION RECEIVED FROM:  
HOMESTEAD LAND SURVEYING PC  
DATED: MARCH 24, 2021  
ELEVATIONS REFER TO NAVD, 1988

GRAPHIC SCALE

0    20'    40'

(IN FEET)

1 INCH = 20 FEET

1. CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.

2. COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.

3. OBTAIN A TOWN RIGHT OF WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY (631-224-5610).

4. CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.

5. PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.

6. CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.

7. ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.

8. ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCRR PART 360, SOLID WASTE MANAGEMENT FACILITIES.

9. LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 2BF OR ITEM 2SB.

10. ALL C&D MATERIALS EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY. LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.

11. THE ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.

12. APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE, THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 5A.75 AND 5A.76 SHALL BE FOLLOWED. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.

13. REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OWNER SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES THE UNITS ARE BEING ACCESSED FOR LOADING OR UNLOADING OF DUMPSTERS.

14. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.

15. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

SITE DATA (LOT: 18 ONLY)

ADDRESS  
DISTRICT  
SECTION  
BLOCK  
LOTS  
ZONE

214 UNION BLVD.  
WEST ISLIP, NY 11745  
500  
454  
J  
18  
BUS I

EXISTING OCCUPANCY USE:  
PROPOSED OCCUPANCY USE:

N MERCANTILE  
B BUSINESS

PRIMARY BUILDING BULK REGULATIONS (LOT: 18 ONLY)

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	7,500 SQ. FT.	8,303 SQ. FT.	8,303 SQ. FT.
MIN. WIDTH LOT	65 FT.	50.0 FT.	50.0 FT.
MIN. FRONT YARD	10 FT.	18.1 FT.	18.1 FT.
MIN. SIDE YARD	10 FT. / 20 FT.	4.3 FT. / 23.2 FT.	4.3 FT. / 23.2 FT.
MIN. REAR YARD	10 FT.	± 101.4 FT.	± 101.4 FT.
MAX. FAR	0.40 X 8,303 SQ. FT. 3,321.2 SQ. FT.	1.485 SQ. FT. / 0.18	2,265 SQ. FT. / 0.27
MAX. HEIGHT	35 FT.	24.9 FT. / 2 STORY	24.9 FT. / 2 STORY

SITE DESIGN DATA (LOT: 18 & 19)

AREA CALCULATIONS:  
AREA OF SITE:  
EXISTING SHED  
EXISTING CELLAR:  
EXISTING FIRST FLOOR:  
EXISTING SECOND FLOOR:  
GFA OF BUILDING:  
F.A.R.

SUBJECT LOT 18  
8,303 S.F. (0.19 ACRES)  
122 S.F.  
632 S.F.  
494 S.F.  
644 S.F.  
2,265 S.F. / 8,303 ± 0.27  
0.27 OF SITE < 0.40 MAX

ADJACENT LOT 19  
8,711 S.F.  
123 S.F.  
NA  
± 1,042 S.F.  
NA  
NA  
NA

PARKING CALCULATIONS:  
EXISTING USE:  
PROPOSED USE:  
REQUIRED PARKING:  
PROVIDED PARKING:

RETAIL  
RESTAURANT, 1 SPACE/100 S.F.  
2,265 S.F. / 100 ± 23 SPACES REQ.  
1 SPACES + 23 SPACES INCLUDING 1 HANDICAP SPACE

RETAIL  
RETAIL, 1 SPACE/50 S.F.  
1,042 S.F. / 50 ± 1 SPACES REQ.  
1 SPACES + 1 SPACES INCLUDING 1 HANDICAP SPACE

\* RELAXATION OF PARKING SPACES FROM 23 TO 1 SPACES.  

AREA OF PAVING:  
5,428 S.F.

± 4,054 S.F.

BUFFER:  
REAR AND SIDE YARDS TO HAVE 25 FT. MIN. RESIDENTIAL BUFFERS. FRONT TO HAVE 8 FT. MIN. AT STREET FRONTALAGE.  
FRONT (NORTH), 8 FT. MIN.  
SIDE BUFFER (WEST), 25 FT. MIN.  
SIDE BUFFER (EAST), 25 FT. MIN.  
REAR BUFFER (SOUTH), 25 FT. MIN.  
\* RELAXATION OF BUFFERS AT SOUTH, EAST & WEST.

LANDSCAPING CALCULATIONS:  
TOTAL AREA OF LANDSCAPING:  
REQUIRED LANDSCAPING:  
FOLLOWING LANDSCAPE AREAS ARE EXCLUDING BUFFERS.  
AREA OF LANDSCAPING  
REQUIRED FRONT LANDSCAPING  
AREA OF FRONT YARD LANDSCAPE:  
\* RELAXATION FOR TOTAL LANDSCAPING AND FRONT YARD LANDSCAPING.

2,446 S.F. PROVIDED  
20% X 8,303 S.F. = 1,661 S.F.

2,841 S.F. PROVIDED  
20% X 8,711 S.F. = 1,634 S.F.

PLANTING REQUIREMENTS:  
TREES TO BE PLANTED 20' O.C. ON STREET FRONTALAGE  
LOT WIDTH  
FRONT YARD WIDTH 3' BEHIND PROP. LINE  
TREES REQUIRED  
TREES PROPOSED  
\* RELAXATION FOR FRONT YARD TREE PLANTINGS.

50.0 FT.  
24.1 FT.  
2 TREES  
0

48.0 FT.  
24.1 FT.  
2 TREES  
0

LEGEND

TOP OF CURB ELEV.

TC

BOTTOM OF CURB ELEV.

BC

TOP OF GRATE (SLOTTED COVER)

TL

ELEVATION

EL

CAST IRON SOLID COVER

⊙

CAST IRON GRATINGS (DRAINAGE)

⦶

MANHOLE OR GRATING

○

SANITARY SEWER

⊗

DRAINAGE INLET

⊕ III

DRAINAGE MANHOLE

⊖

GREASE TRAP

○ GT

GAS VALVE

⊗ V

WATER VALVE

⊗ W

WATER METER

⊗ M

CLEAN OUT

○ CO

SEWER VENT PIPE

⊕

CATCH BASIN

■

BOLLARD

\*

BUILDING ENTRANCE PEDESTRIAN

▲

BUILDING ENTRANCE OVERHEAD DOOR

△

TEST HOLE LOCATION

+ →

FLOW ARROW

→

PROPERTY LINE

- - - - -

OVERHEAD ELECTRIC

-- OH --

GAS MAIN (SERVICE)

-- G --

WATER MAIN (SERVICE)

-- W --

STORM DRAIN

-- D --

SANITARY (SEWER)

-- S --

CHAIN LINK FENCE

- X -

VINYL FENCE

- ○ -

STOCKADE FENCE

- □ -

CURB

▬ ▬ ▬

SIDEWALK

▬ ▬ ▬ ▬ ▬

LEACHING POOL

◯

HYDRANT

◯ HYD

UTILITY POLE

⚡

LIGHT POLE

◯

SIGN

◻

HANDICAP PARKING SPACE

♿

DISCLAIMER:

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

LOT 18 ZONING: RES A  
LAND NOW OR FORMERLY OF  
HERSCHA KOBAYASHI  
USE: RESIDENCE

LOT 19 ZONING: BUS 1  
LAND NOW OR FORMERLY OF  
CHARLES WILLIAM ZELLER  
USE: RESIDENCE

LOT 20 ZONING: BUS 1  
LAND NOW OR FORMERLY OF  
CHARLES WILLIAM ZELLER  
USE: RESIDENCE

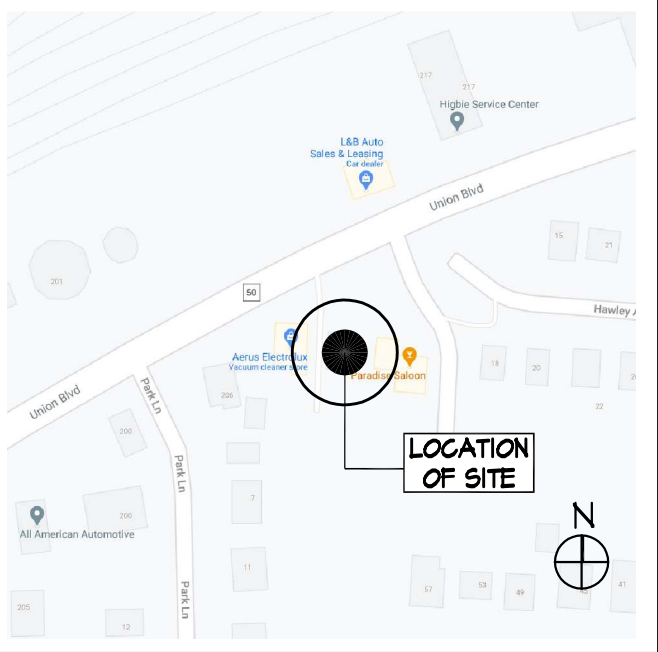
Lot 18  
SUBJECT LOT 18  
ZONING: BUS 1  
EXISTING USE: RETAIL  
PROPOSED USE: RESTAURANT  
Asphalt Parking  
Vinyl Siding Frame 2 Story  
Trax Deck & Steps  
Plant Bed  
Pavers  
New Concrete Angled  
Existing Asphalt Pavement  
Handicap Ramp  
Walk Ex. Curb Cut  
Ex. 9' Post & Rail Fence

Lot 19  
SUB

CHANGE OF USE AT  
EXIST. BUILDING  
214 UNION BLVD.  
WEST ISLIP, NY 11795

CONTRACTORS:

Key Map:



**EAB**  
ARCHITECTURALDESIGNS, PLLC  
1250 VETERANS HIGHWAY, STE 2040W HOLBROOK, NY 11741  
tel. ( 631 ) 319-1047 fax ( 631 ) 319-1044

DOB Job No.

# SITE PLAN

Architect: ERIK A. BJORNEBY R.A. Drawing No.:

