

ZONING DATA				
Project Address	246 N. Main Street Sayville, NY 11782 Lot 23 Block 3 0500-357.00-3.00-023.00			
Local Zoning Ordinance	Town of Islip Zoning Ordinance			
Last Updated	9/22/2021			
BULK AND DENSITY	Existing / Required Zoning	Proposed Project		Variances
Lot Area [SF]	36,282	36,282		
Zoning District	IND1	IND1		
Use Group - Sec. 68-338-B	Mini Storage Warehouse	Mini Storage Warehouse		
Maximum Floor Area Ratio [F.A.R.] - Sec. 68-344-B	42%	Actual Ratio [F.A.R.] 42%		
Maximum Area Allowed by F.A.R. - Sec. 68-344-B	15,238	Actual Area [F.A.R.] 15,153		
YARDS/HEIGHT				
Required Yards [ft] - Sec. 68-347	Front (@ ROW)	50'-0"	Proposed	10'-0"
- Sec. 68-348	Side (@ ROW)	10'-0"	Proposed	5'-0"
- Sec. 68-348	Side (@ Abutting Lot.)	10'-0"	Proposed	5'-11"
- Sec. 68-349	Rear (@ Abutting Lot.)	25'-0"	Proposed	5'-0"
Maximum Building Height [ft] - Sec. 68-343	60'-0"	Proposed	19'-4"	
PARKING/LOADING				
Required Off Street Parking Spaces	Islip Land Development Code - Appendix E - 34	1 Per 5,000 SF + 1 per 200 SF of office space, no less than 10	Provided	15,153 SF/5,000 SF = 3.1 4 Spaces Provided
Required Accessible Parking Spaces	NYSBC - 1106.1	1 Per 25 Spaces	Provided	0.0
Required Off Street Loading		*TBD	Provided	0.0
Required Bicycle Parking		*TBD	Provided	0.0
SIGNAGE				
Signs - Schedule of Sign Regulations Sec. 68-398	Size	20 SF / 1 SF per the width of storefront	Provided	
	Quantity	1 / 1 per frontage	Provided	
	Location	Ground / Wall	Provided	
	Height	15'-0" / 18'-0"	Provided	
ADDITIONAL				
Architectural Standards	Yes			
Flood Zone/Criteria	Zone X			
Easements	No			
Notes:				
Disclaimer: Square footage figures presented are provided for the sole and exclusive use of the Developer. These square footage figures are reported for the purpose of demonstrating the way by which the Developer's project feasibility, program and zoning compliance is achieved. The Developer shall retain these figures for the compliance to program and approve or reject the Architect's calculations. The Developer shall promptly report to the Architect any errors, inconsistencies or omissions discovered or made known to the Developer.				

LOT #2

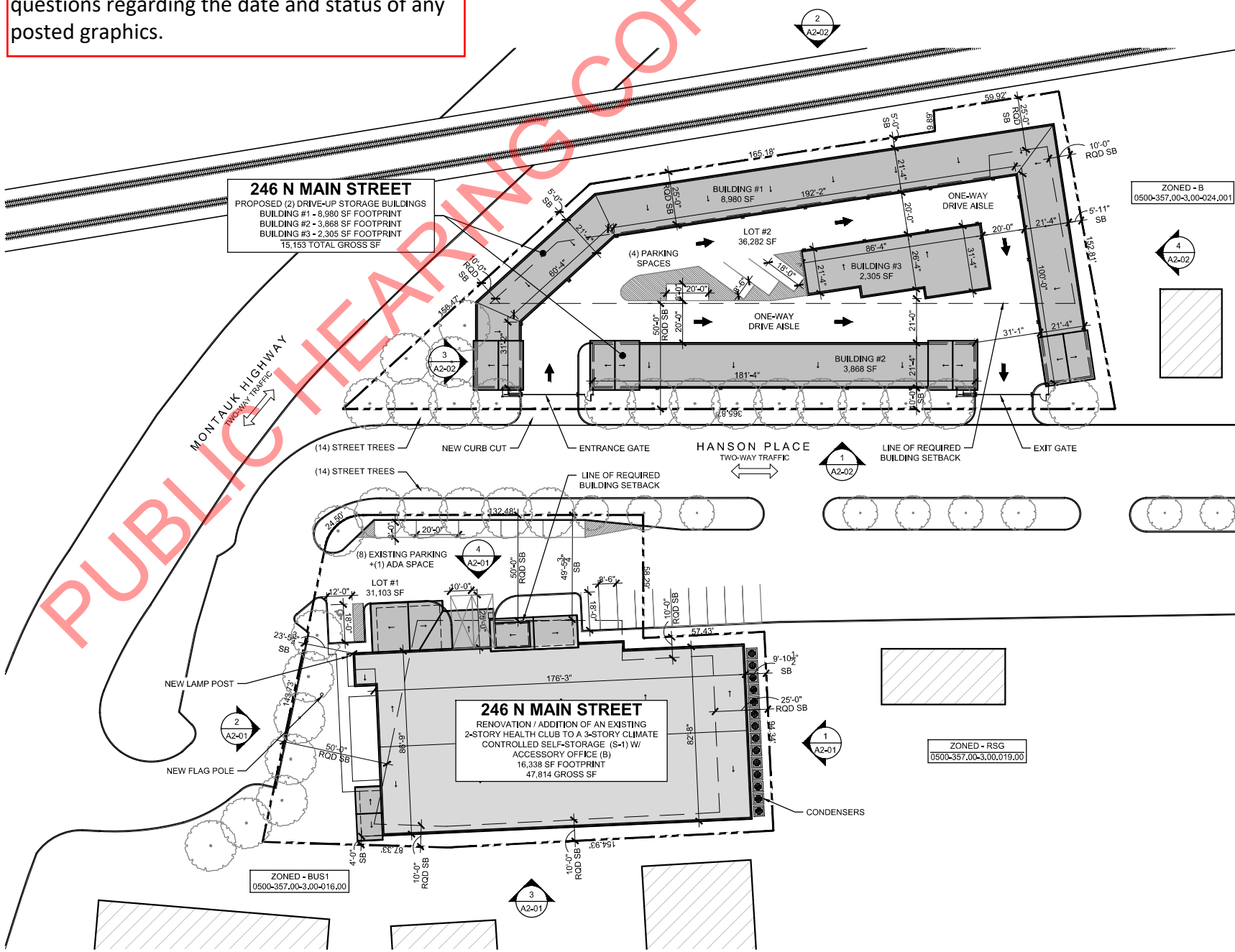
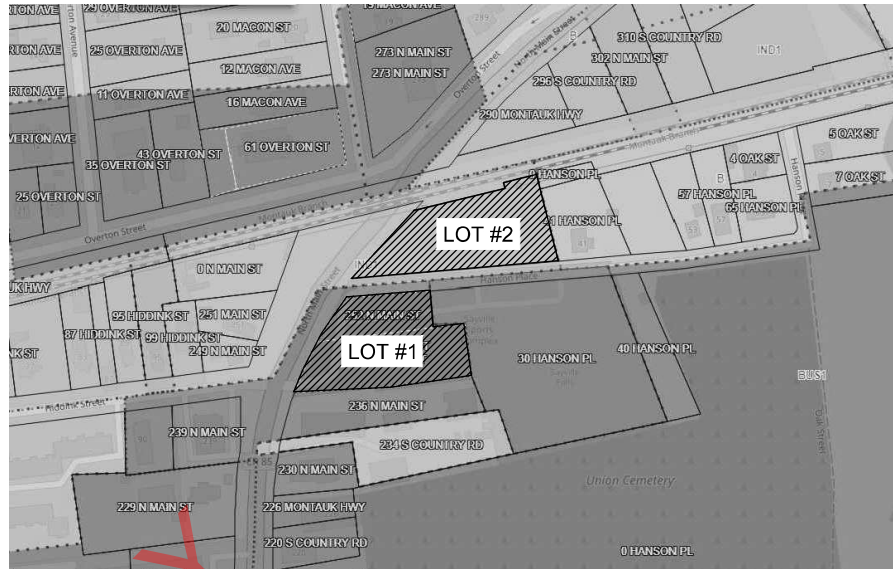
TOWN SUBDIVISION & LANDSCAPE REGULATIONS				
Project Address	246 N. Main Street Sayville, NY 11782 Lot 18 Block 3 0500-357.00-3.00-018.001			
Last Updated	9/22/2021			
COMMERCIAL LANDSCAPE STANDARDS	Required	Proposed Project		Relaxation
Lot Area [SF]	31,103	31,103		
Minimum Landscaping [%] - Sec. Q-3.1	20%	Provided		14%
Minimum Landscaping [SF] - Sec. Q-3.1	6,221	Provided		4,334
Minimum Landscape Depth at Street - Sec. Q-3.1	8'-0"	Provided		23'-5 3/4"
BUFFERS & SCREENING				
Landscape Buffer - Sec. Q-3.2-B	25'-0" at residential zone	Proposed		N/A
Landscape Buffer Screen - Sec. Q-3.2-C	6'-0" chainlink fence 6" from property line and plantings	Proposed		N/A
Street Trees - Sec. Q-3.5-A	1 per 20'-0"	Existing		14 trees at 20'-0" o.c.
Site Screening - Sec. Q-3.5-B	All parking areas, loading areas, trash and storage areas must be screened	Proposed		Screened
Interior Parking Lot Screening - Sec. Q-3.5-C	5'-0" buffer between propertyline and interior parking lot	Existing		2'-0"

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Local Zoning Ordinance	Town of Islip Zoning Ordinance			
Last Updated	9/21/2021			
BULK AND DENSITY	Permitted / Required Zoning	Existing Zoning	Proposed Project	Variances
Lot Area [SF]	31,103	31,103	31,103	
Zoning District	IND1	B1	IND1	
Use Group - Sec. 68-338-B	Mini Storage Warehouse	Health Club	Mini Storage Warehouse	
Maximum Floor Area Ratio [F.A.R.] - Sec. 68-344-B	42%	40%	Actual Ratio [F.A.R.] 154%	FAR Variance
Maximum Area Allowed by F.A.R. - Sec. 68-344-B	13,093	12,441	Actual Area [F.A.R.] 47,814	FAR Variance
YARDS/HEIGHT				
Required Yards [ft] - Sec. 68-347	Front (@ ROW)	50'-0"	Proposed	Existing 23'-5 3/4"
- Sec. 68-348	Side (@ ROW)	10'-0"	Proposed	49'-4 3/4"
- Sec. 68-348	Side (@ Abutting Lot.)	10'-0"	Proposed	Existing 4'-0"
- Sec. 68-349	Rear (@ Abutting Lot.)	25'-0"	Proposed	Existing 9'-10 1/2"
Maximum Building Height [ft] - Sec. 68-343	60'-0"	35'-0"	Proposed	42'-7"
PARKING/LOADING				
Required Off Street Parking Spaces	Islip Land Development Code - Appendix E - 34	1 Per 5,000 SF + 1 per 200 SF of office space, no less than 10	1 Per 200 SF	47,201 SF/5,000 SF = 9.4 + 613 SF/200 = 3.1 + 12.5 9 Spaces Provided
Required Accessible Parking Spaces	NYSBC - 1106.1	1 Per 20 Spaces	1 Per 25 Spaces	1.0
Required Off Street Loading		*TBD	*TBD	2.0
Required Bicycle Parking		*TBD	*TBD	0.0
SIGNAGE				
Signs - Schedule of Sign Regulations Sec. 68-398	Size	20 SF / 1 SF per the width of storefront	20 SF / 1 SF per the width of storefront	Provided
	Quantity	1 / 1 per frontage	1 / 1 per frontage	Provided
	Location	Ground / Wall	Ground / Wall	Provided
	Height	15'-0" / 18'-0"	15'-0" / 18'-0"	Provided
ADDITIONAL				
Architectural Standards	Yes	Yes		
Flood Zone/Criteria	Zone X	Zone X		
Easements	No	No		
Notes:	Check for easements due to possible shared parking and shared trash enclosure with neighboring business.			

LOT #1

TOWN SUBDIVISION & LANDSCAPE REGULATIONS				
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Last Updated	9/22/2021			
COMMERCIAL LANDSCAPE STANDARDS	Required	Proposed Project		Relaxation
Lot Area [SF]	36,282	36,282		
Minimum Landscaping [%] - Sec. Q-3.1	20%	Provided		16%
Minimum Landscaping [SF] - Sec. Q-3.1	7,256	Provided		5,643
Minimum Landscape Depth at Street - Sec. Q-3.1	8'-0"	Provided		10'-0"
BUFFERS & SCREENING				
Landscape Buffer - Sec. Q-3.2-B	25'-0" at residential zone	Proposed		5'-11" minimum
Landscape Buffer Screen - Sec. Q-3.2-C	6'-0" chainlink fence 6" from property line and plantings	Proposed		6'-0" Fence
Street Trees - Sec. Q-3.5-A	1 per 20'-0"	Proposed		14 trees at 20'-0" o.c.
Site Screening - Sec. Q-3.5-B	All parking areas, loading areas, trash and storage areas must be screened	Proposed		Screened
Interior Parking Lot Screening - Sec. Q-3.5-C	5'-0" buffer between propertyline and interior parking lot	Proposed		10'-0"

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



1 SITE PLAN
SCALE: 1" = 30'-0"

NOT FOR CONSTRUCTION

07/16/21 - ISSUED FOR REVIEW

0 10' 20' 30' 40' 50' 60'

SCALE: 1" = 30'

REGISTERED ARCHITECT
JOHN SULLIVAN
STATE OF NEW YORK
035910

5	09/23/2021	ISLIP ZONING RE-SUBMITTAL
4	07/16/2021	ISLIP ZONING RE-SUBMITTAL
3	06/29/2021	ISLIP ZONING RE-SUBMITTAL
2	05/26/2021	ISLIP ZONING SUBMITTAL
1	04/12/2021	ISLIP ZONING SUBMITTAL
NO	DATE	ISSUE DESCRIPTION

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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

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QC BY: PJA
CM
DRAWN BY: JW, JM

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SGW ARCHITECTS, P.C.

246
N. MAIN
STREET

SAYVILLE, NEW YORK 11782

SITE PLAN

NORTH

A0-01