

1.1 VICINITY MAP

UNDERGROUND UTILITIES NOTE:
ALL DEPICTED UNDERGROUND UTILITIES AS LISTED:

-WATER MAIN AND SPRINKLER MAIN, SANITARY SEWER, ELECTRIC AND TELEPHONE ARE PER FINAL AS BUILT SURVEY BY JMS. COMPANY, CONSULTING SURVEYOR, 12 HAUSMAN STREET, BROOKLYN N.Y. 11222
ARKADUSZ KODKIEWICZ LICENSED LAND SURVEYOR N.Y.S. LICENSE NO. 049871
DATED 2-25-40 WITH FINAL REVISION DATED 5-25-40
- GAS MAIN ARE PER FINAL AS BUILT SURVEY BY LISA MCGUIRKIN LAND SURVEYING, 214 EAST MAIN STREET, EAST ISLIP N.Y. 11730
ELIZABETH G. MCGUIRKIN LICENSED LAND SURVEYOR N.Y.S. LICENSE NO. 05621
DATED MAY 11, 2021

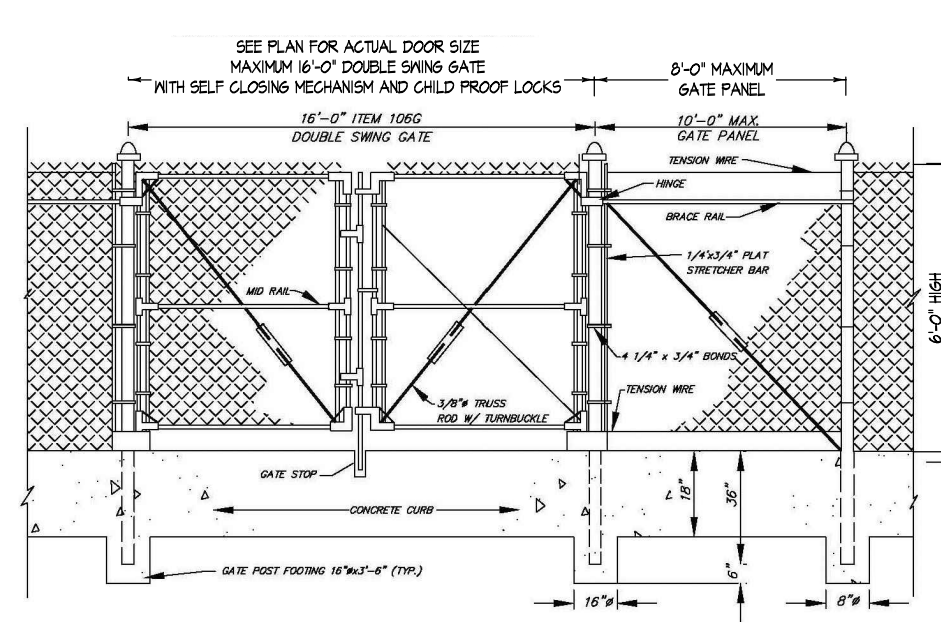
REPAIR AND REPLACE DAMAGED CURB AT CORNER TO MATCH EXISTING (APPROXIMATELY 4' LENGTH)
FOR CURB TRENCH REPAIR & STOP CURB DETAILS SEE DWG. SP-107



1 SITE PLAN - PROPOSED

LEGEND

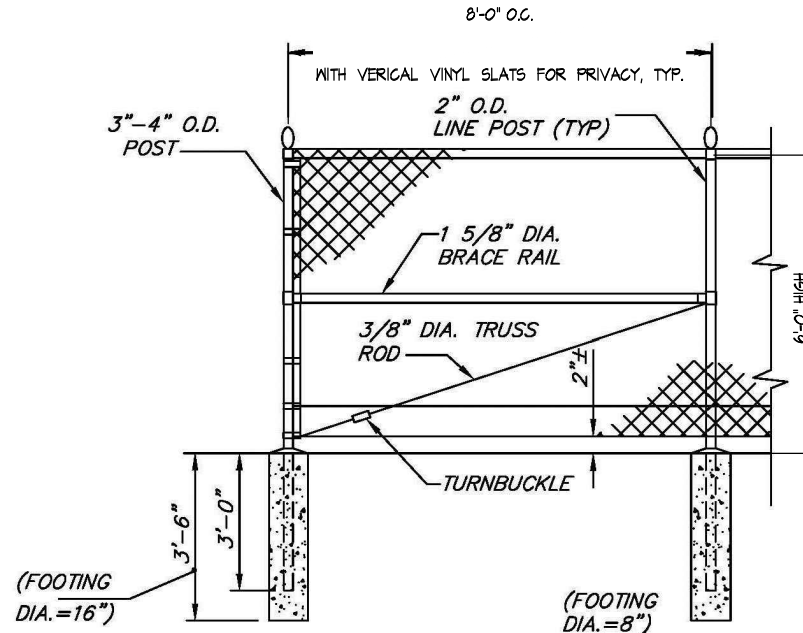
- MANHOLE COVER AS NOTED
- DRAIN INLET
- VALVE AS NOTED
- LIGHT POLE
- SPRINKLER STAND PIPE
- FIRE HYDRANT
- SIGN ON BOLLARD
- BOLLARD
- (e) UNDERGROUND GAS LINE
- (e) UNDERGROUND SANITARY LINE
- (e) UNDERGROUND WATER & SPRINKLER LINE
- (e) UNDERGROUND ELECTRICAL & TELEPHONE LINE
- EXISTING CHAIN LINK FENCE WITH STOCKADE FENCE
- PROPOSED CHAIN LINK FENCE WITH PRIVACY INFILL SLATS
- LANDSCAPED AREA
- UNITARY RUBBER "POURED IN PLACE" SURFACE
- (e) 5 DECIDUOUS TREE APPROX. 16" DIAMETER
- NEW DECIDUOUS TREE APPROX. 6" DIAMETER
- 200-37-163, 163/25-652 7 TREES REQUIRED
- 2 ADDITIONAL DECIDUOUS TREES TO BE PLANTED
- NEW EVERGREEN PLANT. SEE DWG. SP-104 FOR DETAILS
- NEW SHRUB PLANT. SEE DWG. SP-104 FOR DETAILS
- (e) DRYWELL & ASSOCIATED PIPE
- (e) ROOF LEADER TO EXISTING ASSOCIATED PIPE
- SAN CUT EXISTING PAVEMENT
- DIRECTION AND SLOPE OF DRAINAGE FLOW
- CATCH BASIN
- BOX/VAULT AS NOTED
- ADA DESIGNATION MARKINGS
- SPOT ELEVATION. bc-Top of Curb; bc-Bottom of Curb



NOTES:

1. ALL FENCE FABRIC, POSTS, RAILS, BRACES, FITTINGS, ETC. SHALL BE PVC COATED IN ACCORDANCE WITH THE TOWN OF ISLIP STANDARD SPECIFICATIONS.
2. ALL FENCE SHALL BE 7' WITH 4 GA. GALVANIZED WIRE.
3. POSTS AND HARDWARE SHALL BE SCHEDULE 40.
4. ALL FENCE FABRIC SHALL RECEIVE VERTICAL VINYL SLATS FOR PRIVACY.
5. ALL CONCRETE SHALL BE 4000 PSI AT 28 DAYS TYP.
6. ALL CONCRETE SHALL BE TAMPERED IN PLACE, NO MONEY COMB WILL BE ALLOWED.
7. CYLINDER TESTING REQUIRED AS PER P.E.

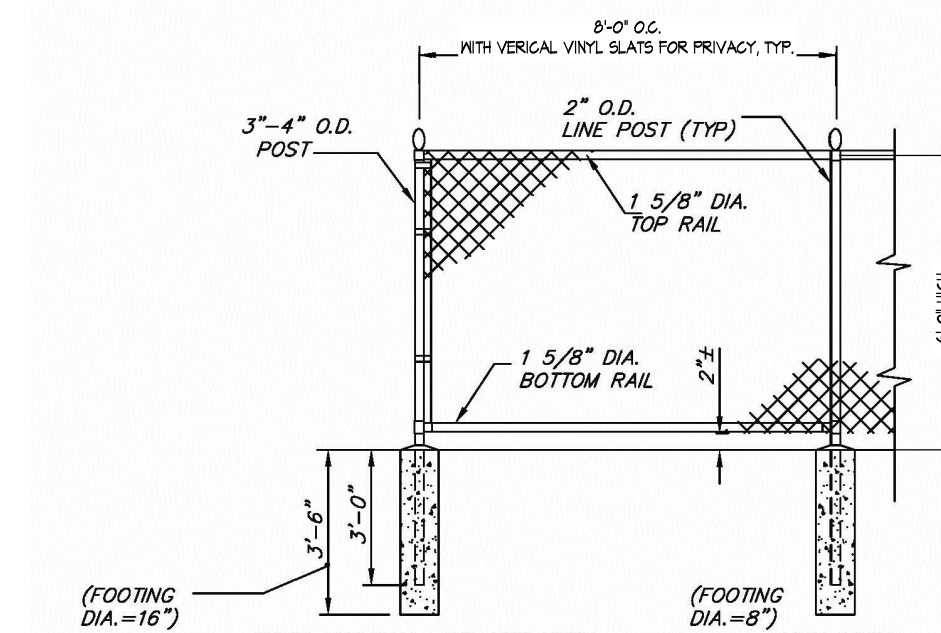
1 CHAIN LINK FENCE GATE SCALE: N.T.S.



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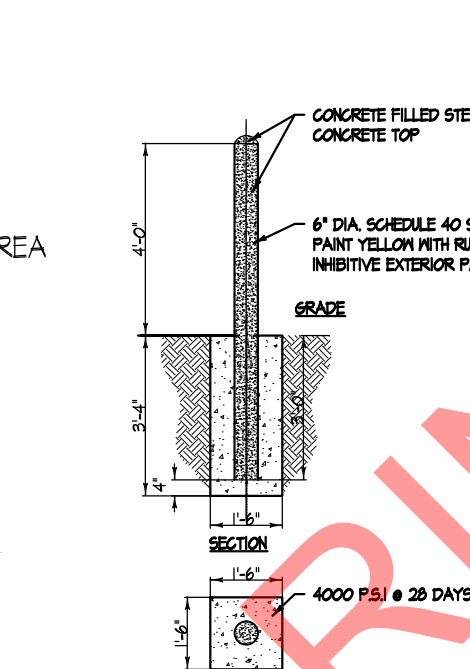
2 TYPICAL CHAIN LINK FENCE - END POST SCALE: N.T.S.



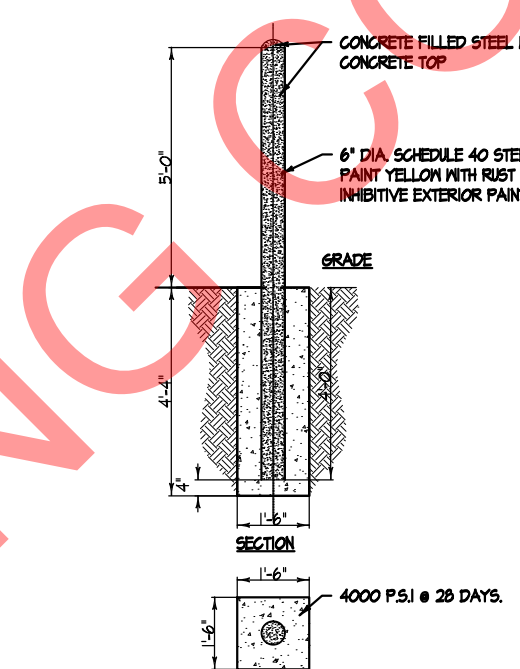
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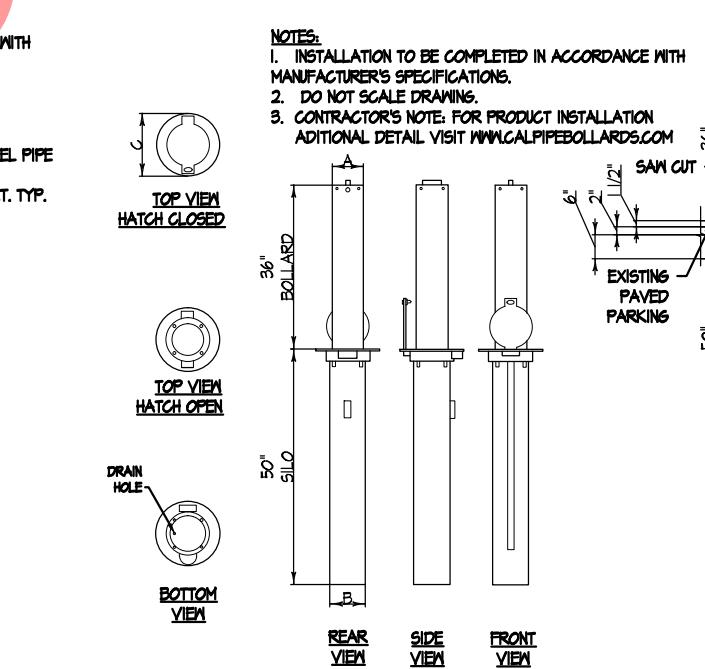
3 TYPICAL CHAIN LINK FENCE SCALE: N.T.S.



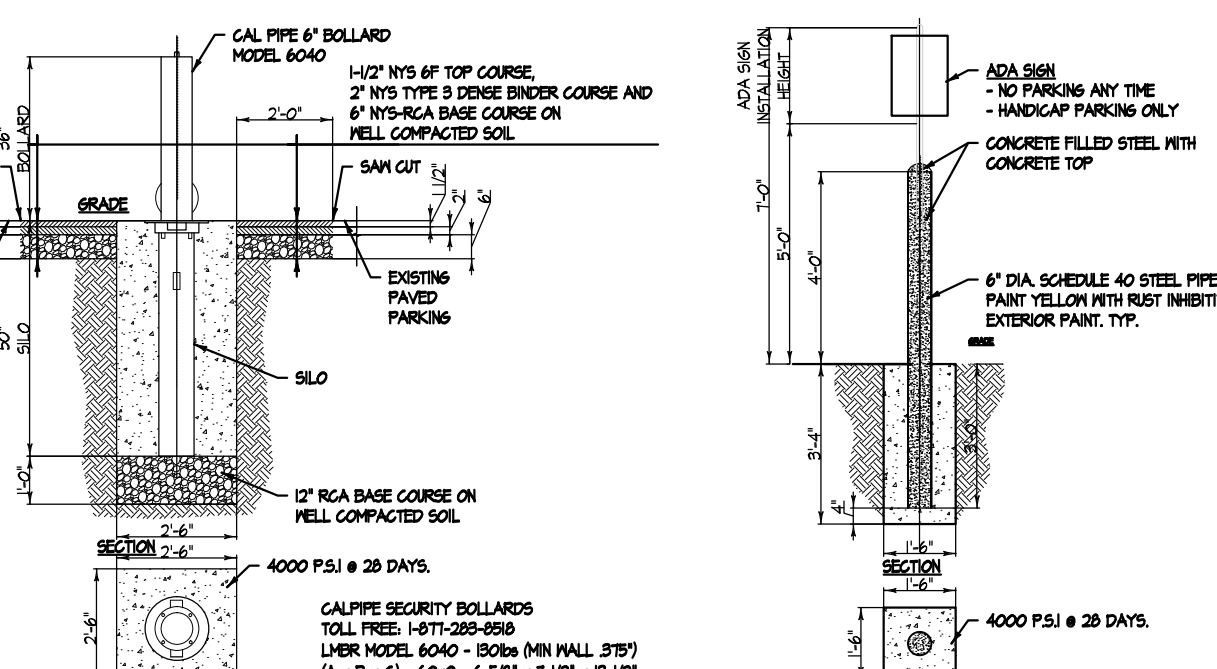
1 TYPICAL BOLLARD TYPE-1 SCALE: N.T.S.



2 TYPICAL BOLLARD TYPE-2 SCALE: N.T.S.



3 TYPICAL BOLLARD TYPE-3 (REMOVABLE BOLLARD) SCALE: N.T.S.



4 TYPICAL BOLLARD TYPE-4 SCALE: N.T.S.

NYS DOT GENERAL NOTES:

- A. ALL CONCRETE ISLANDS/SIDEWALKS SHOULD HAVE SLEEVES FOR SAWN STAKES SHOWN ON THE PLANS. CONTRACTOR SHALL COORDINATE WITH STATE PERMIT ENGINEER BEFORE CONSTRUCTION.
- B. SIDEWALKS AND RAMPS MUST BE EVALUATED FOR COMPLIANCE WITH CURRENT ADA STANDARDS. AFTER CONSTRUCTION, THE PERMITTEE AND THEIR DESIGNATED DESIGNER OF RECORD SHALL FIELD VERIFY THE PEDESTRIAN FEATURES (RAMPS, SIDEWALKS, ETC.) WERE CONSTRUCTED ACCORDING TO NYS DOT STANDARDS, NYS DOT EB 16-012 AND SUBMIT REQUIRED DOCUMENTATION TO THE STATE PERMIT ENGINEER BEFORE THE WORK CAN BE ACCEPTED AS COMPLETE AND THE PERMIT TO BE CLOSED. THE FEATURES THAT DO NOT COMPLY WITH ADA REQUIREMENTS UPON COMPLETION WILL REQUIRE REMOVAL AND RECONSTRUCTION. THE CONTRACTOR SHALL CLEAN EXISTING DRAINAGE BASINS ALONG AND IMMEDIATELY ADJACENT TO THE SITE FRONTAGE AFTER CONSTRUCTION AND AS ORDERED BY THE STATE ENGINEER.
- D. ANY UTILITY WORK PROPOSED IN THE STATE HIGHWAY R.O.M. WILL REQUIRE SEPARATE APPLICATION AND SUBMISSION OF PLANS (INSTALLATION DETAILS, RESTORATION OF PAVEMENT AND MAINTENANCE & PROTECTION OF TRAFFIC PLAN. ALL REFERENCED TO NYS DOT SPECIFICATION ITEM NUMBERS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES TO OUR NEVILLE MAINTENANCE FACILITY. THE APPLICANT MAY CONTACT MR. JOSEPH AT 631-420-4270 FOR FURTHER DIRECTIONS REGARDING UTILITY HIGHWAY WORK PERMIT (HWP) APPLICATIONS. THE APPLICANT SHOULD BE MADE AWARE THAT UTILITY HWP IS SUBJECT TO ISSUANCE OF THE HWP REQUIRED FOR SITE WORK.
- E. REMOVAL OF EXISTING CONC. CURB SHOULD BE DONE FROM THE BACK SIDE OF IT TO MINIMIZE ANY DAMAGE TO THE EXISTING PAVEMENT. CONSIDER "FACE FORMING" THE NEW CURB WHERE THE CURB CUTS ARE TO BE REMOVED. THIS INVOLVES PULLING THE CURB OUT FROM THE BACK AND POURING NEW CURB UP AGAINST THE EXISTING PAVEMENT. THIS MAY REDUCE OR ELIMINATE PAVEMENT REPAIRS.
- F. ANY SIDEWALKS PANELS, RESTORATION OF PAVEMENT THAT SETTLED WITH A GREATER THAN 1/4" LIP OR CRACK OVER 1/4" WIDE SHALL BE REPLACED TO MEET ADA REQUIREMENTS. REPAIR EXISTING SHOULDER, SIDEWALK & CURBS AS ORDERED BY THE STATE ENGINEER.

SITE IMPROVEMENTS GENERAL NOTES:

1. ALL IMPROVEMENTS SHALL BE IN COMPLIANCE WITH THE LATEST ISLIP PLANNING BOARD SUBDIVISION REGULATIONS SITE IMPROVEMENT SPECIFICATIONS.
2. PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN A TOWN OF HUNTINGTON RIGHT OF WAY, THE APPLICANT/OWNER/CONTRACTOR/DEVELOPER MUST OBTAIN A HIGHWAY PERMIT FROM THE TOWN OF ISLIP HIGHWAY DEPARTMENT OR NYS DOT AS APPLICABLE.
3. ANY UTILITIES INCLUDING POLES REQUIRED TO BE RELOCATED DUE TO THE INSTALLATION OF REQUIRED IMPROVEMENTS SHALL BE RELOCATED AT THE EXPENSE OF THE APPLICANT/DEVELOPER/OWNER.
4. FINAL CURB INSPECTION TO BE DETERMINED IN THE FIELD BY THE TOWN ENGINEERING INSPECTOR.
5. THE PROPOSED GUTTER GRADES (0.50% MIN) SHALL BE ESTABLISHED BY MAINTAINING A CROSS SLOPE OF 1/4"-1/2" / FOOT DOWN FROM THE EXISTING GRADE OF PAVEMENT WHILE MAINTAINING A MINIMUM GUTTER GRADE OF 0.50%.
6. ALL TRAFFIC ROAD MARKINGS, ROAD SIGNS, AND LIGHT SIGNALS THAT MAY HAVE BEEN MOVED OR DAMAGED IN THE PROCESS OF CONSTRUCTION SHALL BE RESTORED AT THE APPLICANTS EXPENSE TO AT LEAST THE SAME QUALITY OR CHARACTERISTICS THAT EXISTED BEFORE CONSTRUCTION BEGAN. THE APPLICANT SHALL BE FURTHER RESPONSIBLE TO INSURE THAT THE ROADWAYS ADJACENT TO THE CONSTRUCTION SITE, THESE MARKINGS, SIGNS AND SIGNALS ARE MAINTAINED AND THAT PROTECTION OF TRAFFIC IS MAINTAINED DURING THE ENTIRE PERIOD OF CONSTRUCTION IF REPLACEMENT OR UPGRADE IS REQUIRED. SAME MUST BE APPROVED BY THE TOWN OF HUNTINGTON DEPARTMENT OF ENGINEERING SERVICES, DIVISION OF TRAFFIC SAFETY AND TRANSPORTATION PLANNING.
7. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS A PRE-CONSTRUCTION MEETING WITH THE DEPARTMENT OF ENGINEERING SERVICES SHALL BE SCHEDULED BY THE APPLICANT/OWNER/BUILDER/DEVELOPER.
8. ALL HANDICAP SPACES AND ACCESS AISLES SHALL BE IN COMPLIANCE WITH THE LATEST BUILDING CODE OF NEW YORK STATE AND ICC ANSI-2004 STANDARDS.

NYS CODE NOTES:

SECTION 312 VEHICLE IMPACT PROTECTION

- 312.2 POSTS
GUARD POSTS SHALL COMPLY WITH ALL OF THE FOLLOWING REQUIREMENTS:
- CONSTRUCTED OF STEEL NOT LESS THAN 4 INCHES IN DIAMETER AND CONCRETE FILLED.
 - SPACED NOT MORE THAN 4 FEET BETWEEN POSTS ON CENTER.
 - SET NOT LESS THAN 3 FEET DEEP IN A CONCRETE FOOTING OF NOT LESS THAN A 15-INCH (381 MM) DIAMETER.
 - SET WITH THE TOP OF THE POSTS NOT LESS THAN 3 FEET ABOVE GROUND.
 - LOCATED NOT LESS THAN 3 FEET FROM THE PROTECTED OBJECT.
- 312.3 OTHER BARRIERS
BARRIERS, OTHER THAN POSTS SPECIFIED IN SECTION 312.2, THAT ARE DESIGNED TO RESIST, DEFLECT OR VISUALLY DETER VEHICULAR IMPACT COMMENSURATE WITH AN ANTICIPATED IMPACT SCENARIO SHALL BE PERMITTED WHERE APPROVED.

BOLLARD ADDITIONAL NOTES:

1. ALL CONCRETE TO BE 4000 PSI AIR ENTRAINED.
2. FOR LOCATIONS SEE SITE PLAN.
3. ALL CONCRETE SHALL BE TAMPERED IN PLACE, NO MONEY COMB WILL BE ALLOWED.
4. CYLINDER TESTING REQUIRED AS PER P.E.

PARKING ANALYSIS:

PER TOWN OF ISLIP ZONING APPENDIX E - TABLE OF MINIMUM PARKING SPACES:

EXISTING	RETAIL	REQUIRED PARKING	-1 STALL PER 150 SQ.FT. (GROSS)
9100/150	=61	REQUIRED > 51 EXISTING	-EXISTING NON COMPLYING
PROPOSED	-DAYCARE	REQUIRED PARKING	-1 STALL PER 200 SQ.FT. (GROSS)
9100/200	=48	REQUIRED = 44 PROVIDED	-PROPOSED NON COMPLYING-RELAXATION REQUIRED

THE PROPOSED OUTDOOR PLAYGROUND WILL ELIMINATE FIVE (5) PARKING STALLS

GRADING NOTE:

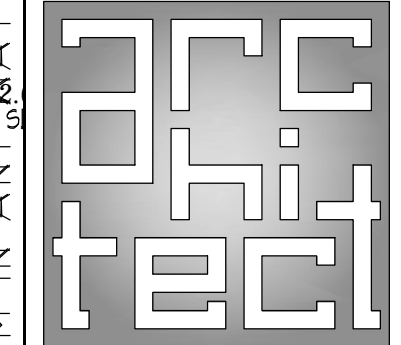
- NO CHANGE TO EXISTING SLOPES AND GRADES.
- THE PROPOSED OUTDOOR PLAYGROUND WILL RECEIVE A UNIFORMLY POURED, MAXIMUM OF 2 INCH OUTDOOR RUBBER PAD AS INDICATED.
- ALL RUBBER PAD EDGES WILL BE ROUNDED AND TAPERED TO EXISTING ASPHALT PAVEMENT MAX. 4' FROM EDGE, TYP.

TOWN OF ISLIP NOTE:

THE TOWN OF ISLIP BUILDINGS EXAMINER SHALL REVIEW THE ENCLOSED DOCUMENT FOR MINIMUM ACCEPTABLE PLAN. SUBMITTAL REQUIREMENTS OF THE TOWN OF ISLIP AS SPECIFIED IN THE BUILDING AND/OR RESIDENTIAL CODE OF THE STATE OF NEW YORK. THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THE SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL, HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS:

- ACCURATE
- CONFORMS WITH GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION
- CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARDING OF LIFE, HEALTH, PROPERTY AND PUBLIC WELFARE
- IS THE RESPONSIBILITY OF THE LICENSEE

DOB APPROVAL



ENIK MEHMETI

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E-Mail: ingenik@gmail.com

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2. 09/03/2021 TO DOB
1. 06/03/2021 TO DOB
No. DATE DESCRIPTION
ISSUED

CHANGE OF USE FOR:

KIDS
DAYCARE

1871 SUNRISE HIGHWAY
BAY SHORE N.Y. 11706
N. 500, S. 311, B. 1, L. 111, Z. B-3
SC. 111. 500-311.00-01.00-11.00.00

SITE PLAN
PROPOSED

SEAL & SIGNATURE



COMM: 20201020
DESIGN BY: E.M.
DRAWING BY: E.M.
CHK BY: E.M.
STR BY: TBD
CHK BY: TBD
DWG No.: SP-102.00

APPLICATION No. DWG No.:
SP-2021-024 2 OF 8

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.