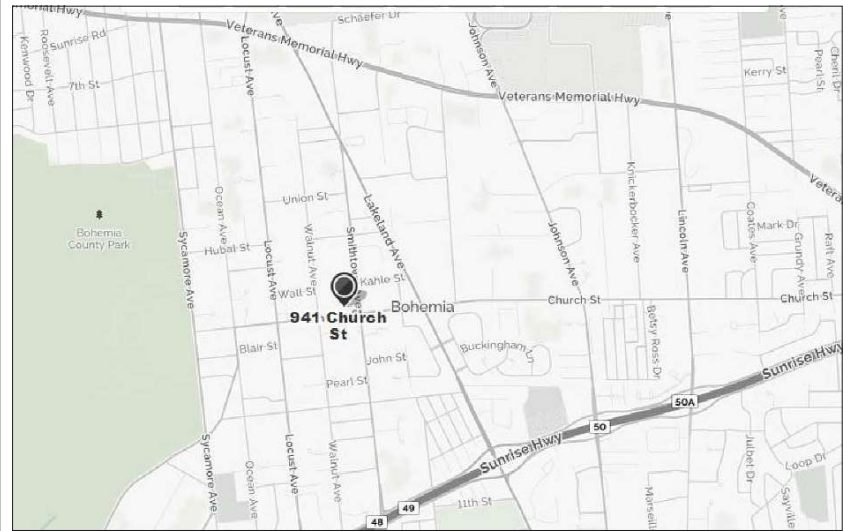
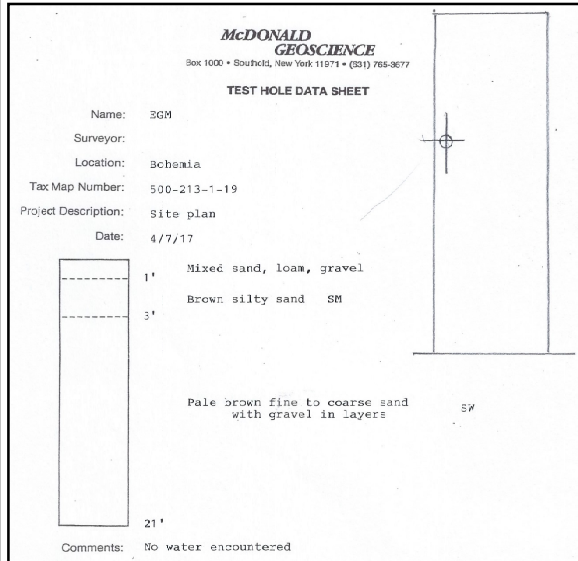


TOWN OF ISLIP SITE PLAN NOTES:

- "Contact the Engineering Inspector (631-224-5360) at least 48 hours prior to start of any work. Work performed without inspection shall be certified to the Town Engineer's satisfaction at applicant's expense."
- "Coordinate and complete all utility relocations."
- "Obtain a Town Right of Way work permit prior to construction within the Town Right of Way (631-224-5360)."
- "Clearing limit lines shall be staked out by a licensed land surveyor, and either snow fencing or construction fencing shall be erected to protect areas from disturbance or encroachment prior to the start of any activities on site. Fencing shall not be removed prior to completion of final site grading operations."
- "Placement of fill, installation of retaining walls, dumping of material, excavation, mining, or similar disturbance of land requires an approved site plan. Commencement of any action of the above without approval is prohibited and subject to legal action."
- "Contractor shall contact the Fire Marshal's office (631-224-5477) prior to installation of any fire service water lines to provide for proper inspection coordination."
- "All existing or proposed subsurface electric, telephone or cable services shall be installed in appropriate conduit sleeves when permanent, improved surfaces are proposed over the routing path."
- "All Recycled Portland Cement Concrete Aggregate (RCA) and Fill materials are to be from an approved source. Recycled Portland Cement Concrete Aggregate is to be certified. Documentation is to be provided showing that the material obtained is from a NYSDC registered or permitted construction and demolition (C&D) debris processing facility as specified in Section 360-16.1 of 6NYCRR Part 360, "Solid Waste Management Facilities"."
- "Load tickets required for all fill materials brought on site, identifying the source, and quantity of materials. All fill to satisfy the requirements of Islip Item 28F or Item 25B."
- "All C&D materials exported from the subject parcel shall be transferred to an approved NYSDC facility, load/transfer tickets to be retained and copies provided to the Town of Islip Engineering Inspector for the record."
- "The Islip Subdivision and Land Development Regulations, Section P, 5 shall be followed."
- "Applications requiring the provision of a stabilized construction entrance, the construction specifications as stated within the New York Standards and Specifications for Erosion and Sediment Control, pages SA 75 and SA 76 shall be followed. Construction and Demolition debris materials shall not be considered for use with stabilized construction entrance installations."
- "Refuse facilities shall be maintained by the applicant/owner so as not to offer any noxious or offensive odors and/or fumes. Applicant/owner shall maintain refuse enclosure gates in a closed position except at times the units are being accessed for loading or unloading of dumpsters."
- "Prior to the issuance of any Certificate of Occupancy, the dedication(s) to the Town of Islip must be recorded with the Suffolk County Clerk."
- "Prior to the issuance of any Certificate of Occupancy, the Lighting Contractor or Electrician shall provide an Underwriter's Laboratory Certificate and Letter stating the lights have been energized."

TEST HOLE DATA:

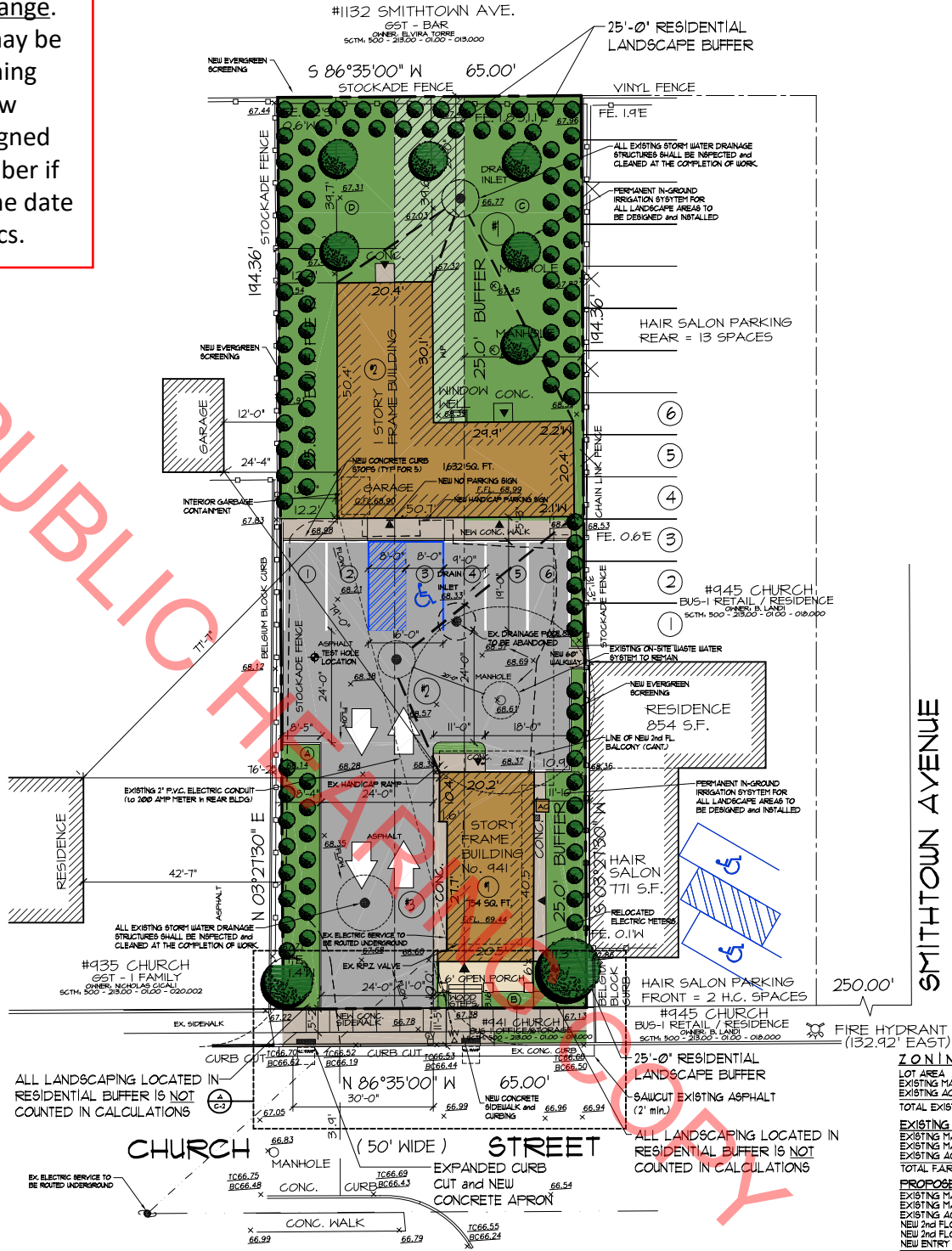


KEY MAP

SCALE: N.T.S. = NOT TO SCALE

The posted plan is subject to change.

Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

ZONE BUS 1
SECTION 213
BLOCK 01
LOT 19

*** ELEVATIONS ARE REFERENCED TO NAVD 1988 DATUM ***

SYMBOL LEGEND:

- ▲ - DOOR LOCATION
- ▲_{ADA} - ADA ACCESS DOOR LOCATION
- WV - WATER VALVE
- GV - GAS VALVE
- - EX. GAS LINE LOCATION
- - EX. WATER LINE LOCATION
- - EX. OVERHEAD ELECTRIC SERVICE

PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"

ZONE BUS 1
SECTION 213
BLOCK 01
LOT 19

APPLICANT: SUFFOLK REALTY GROUP
100 LAKELAND AVENUE
SUITE 1A
BOHEMIA, NEW YORK 11716
APPLICANT NUMBER: (631) 244-1000

HAIR SALON PARKING
FRONT = 2 H.C. SPACES
#945 CHURCH
BUS-1 RETAIL / RESIDENCE
OWNER: B. LANDI
SCTM: 500 - 213.00 - 01.00 - 018.000

PARKING CALCULATIONS:		REQUIRED:
(TOWN OF ISLIP CODE CALCULATION)		
HAIR SALON: 771 SQ. FT.	1 SPACE PER 150 SQ. FT. = 5.14 = 6 SPACES	6 SPACES
RESIDENTIAL: 854 SQ. FT.	1 SPACE PER 150 SQ. FT. = 5.70 = 6 SPACES	6 SPACES
TOTAL PARKING: (INCLUDING 2 H.C. SPACES)		12 SPACES
TOTAL PARKING AVAILABLE:		15 SPACES
PARKING CALCULATIONS:		REQUIRED:
(ACTUAL USE CALCULATION)		
HAIR SALON: 771 SQ. FT.	1 SPACE PER 150 SQ. FT. = 5.14 = 6 SPACES	6 SPACES
RESIDENTIAL: 854 SQ. FT.	1 SPACE PER 150 SQ. FT. = 5.70 = 6 SPACES	6 SPACES
TOTAL PARKING: (INCLUDING 2 H.C. SPACES)		12 SPACES
TOTAL PARKING: (GIVING 6 SPACES TO #941)		18 SPACES

SMITHTOWN AVENUE

ZONING CALCULATIONS

LOT AREA	12,633 SQ. FT.
EXISTING MAIN BUILDING - (OFFICE)	1,632 SQ. FT.
EXISTING ACCESSORY BUILDING - (BARN)	1,632 SQ. FT.
TOTAL EXISTING BUILDING COVERAGE	3,264 SQ. FT.
EXISTING FAR	
EXISTING MAIN BUILDING - (OFFICE)	1,632 SQ. FT.
EXISTING MAIN CELLAR - (STORAGE)	1,632 SQ. FT.
EXISTING ACCESSORY BUILDING - (BARN)	1,632 SQ. FT.
TOTAL FAR	4,896 SQ. FT. (38.7% TOTAL PROPOSED FAR) < 40.0% PERMITTED

PROPOSED FAR	
EXISTING MAIN BUILDING - (OFFICE)	1,632 SQ. FT.
EXISTING MAIN CELLAR - (STORAGE)	1,632 SQ. FT.
EXISTING ACCESSORY BUILDING - (BARN)	1,632 SQ. FT.
NEW 2nd FLOOR ADDITION - (OFFICE)	1,632 SQ. FT.
NEW 2nd FLOOR BALCONY	133 SQ. FT.
NEW ENTRY PORCH with PERGOLA	133 SQ. FT.
TOTAL FAR	4,896 SQ. FT. (38.7% TOTAL PROPOSED FAR) < 40.0% PERMITTED

BUILDING HEIGHT	35'-0" PERMITTED	17'-4" EXISTING	32'-0" PROPOSED
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PARKING CALCULATIONS: - (TOWN OF ISLIP CODE CALCULATION)		REQUIRED:
BUILDING 1: 1st FLOOR: 1,632 SQ. FT.		11 SPACES
2nd FLOOR: 1,632 SQ. FT.		11 SPACES
TOTAL BUILDING 1: 3,264 SQ. FT.		22 SPACES
BLDG # EX. CELLAR: 1,632 SQ. FT. / 1,000		2 SPACES
TOTAL BUILDING 2: 1,632 SQ. FT. / 1,000		2 SPACES
TOTAL PARKING		24 SPACES

PARKING CALCULATIONS: - (ACTUAL USE CALCULATION)		REQUIRED:	PROVIDED:
BUILDING 1: 1st FLOOR: 1,632 SQ. FT.		11 SPACES	11 SPACES
2nd FLOOR: 1,632 SQ. FT.		11 SPACES	11 SPACES
TOTAL BUILDING 1: 3,264 SQ. FT.		22 SPACES	22 SPACES
BLDG # EX. CELLAR: 1,632 SQ. FT. / 1,000		2 SPACES	2 SPACES
TOTAL BUILDING 2: 1,632 SQ. FT. / 1,000		2 SPACES	2 SPACES
TOTAL PARKING		24 SPACES	24 SPACES

- CONTACT ENGINEERING AT 631-224-5360 48 HOURS PRIOR TO STARTING WORK
- ALL UTILITIES TO BE INSTALLED / RELOCATED BELOW GRADE.
- OBTAIN ROW PERMIT PRIOR TO ANY ROW WORK.
- TOWN OF ISLIP SUBDIVISION and LAND REGULATIONS APPLY TO THIS SITE.
- ALL UTILITIES MUST BE MARKED OUT PRIOR TO COMMENCEMENT OF ANY PROPOSED WORK.

THESE PLANS AND SPECIFICATIONS TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT ARE IN COMPLIANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE AND AS PER (R 301.211) DESIGN CRITERIA AND ARE DESIGNED IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA) WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS (WFCM 2001 EDITION).

SCTM# 0500 - 213.00 - 01.00 - 019.000

SF2018-029

Revisions:
▲ - JULY 28th 2018
INITIAL SUBMISSION
▲ - SEPT. 24th 2019
REVISED AS PER ENGINEERING
COMMENTS (01-20-18)

NORTHSTAR ELECTRIC CORP.
941 CHURCH STREET - BOHEMIA, NEW YORK 11716
PROPOSED SITE PLAN and ZONING CALCULATIONS

PACIFIC ENGINEERING, P.C.
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PACIFIC ENGINEERING, P.C. 11716
O: (631) 472-7593 • F: (631) 977-0799 • E: engineer@pacificengineering.com
www.pacificengineering.com



Date: 09/24/19
Drawn By: E. MOLTER
Project #: 2016-61

