CHANGE OF USE AT EXISTING BUILDING 214 UNION BLVD. WEST ISLIP, NY 11795 TOWN OF ISLIP ARCHITECT: ERIK A. BJORNEBY, RA

TOWN OF ISLIP STANDARD NOTES

1. CONTACT THE ENGINEERING INSPECTOR (651-224-5560) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK, WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.

2. COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.

S. OBTAIN A TOWN RIGHT OF WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT OF WAY (631-224-5610).

4. CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE, FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.

5. PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.

6. CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.

7. ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.

8. ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 560-16.1 OF 6NYCRR PART 560, SOLID WASTE MANAGEMENT FACILITIES.

9. LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE, AND GUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 2BF OR ITEM 29B.

IO. ALL CAD MATERIALS EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY, LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.

II. THE ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.

12. APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE, THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 5A.75 AND 5A.76 SHALL BE FOLLOWED. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.

IS. REPUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OWNER SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES THE UNITS ARE BEING ACCESSED FOR LOADING OR UNLOADING OF DUMPSTERS.

UTILITY POLE

LIGHT POLE

HANDICAP PARKING SPACE

14. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.

15. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

				SITE DATA AOT.	
	OWNER INFORMATION OWNER THOMAS KURTZ		ADD	RESS	214 UNION BI
	ADDRESS: 214 UNION BLVD WEST ISLIP, NY 11745		DIST	RICT:	MEST ISLIP, 1 500
	TELE NAMEER: (516) 633-8365		SECT BLOX		454 2
	EMAIL: TOMMYKURTZ272786M	IAIL.COM	LOT	9):	18
			ZONE	e: Ting occupancy use.	BUS I M MERCANTI
				POSED OCCUPANCY USES	5 BUSINESS
	APPLICANT & ARCHITECT INFORMATION APPLICANT: EAB ARCHITECTURAL I ERIK BLORNEBY, RA	DESIGNS		PRIMARY BUIL	DING BULK REGI
	ADDRESS. 4250 VETERANS MEM. SUITE 2040W	HMY		REGUIRED	EXISTING
	HOLBROOK, NY 11741		MIN. LOT AREA	1500 SQ. PT.	8,908 SQ. PT
	TELE NAMBER: (631) 319-1047 EMAIL: ERIKBOEABARCHITECT	URECOM	MIN. WIDTH LOT	65 PT.	50.0 PT.
			MIN. FRONT YARD	ю Рт.	is.i FT.
			MIN. SIDE YARD	10 PT. / 20 PT.	4.9 PT. / 29.2 I
			MIN. REAR YARD	IO PT.	± 101.4 FT.
	그렇게 하는 글이 그는 그는 그렇게		MAX. FAR	0.40 x 8508 50 PT. 9,521.2 50, PT.	(A85 SQ. FT. / C
			MAX. HEIGHT	95 PT.	24.9 PT. / 2 STO
	LEGEND			SITE	DESIGN DATA
	TOP OF CURB ELEY. TO		AREA GALCULATIONS. SUBJECT LOT 10		
	BOTTOM OF CURS ELEV.	BC	AREA OF SITE EXISTING SHED	8,908 S.F. (O.F 122 S.F.	
	TOP OF GRATE (SLOTTED COVER)	TG	Existing Cellar: Existing first floor:		
	ELEVATION		DOSTING SECOND FLOC GFA OF BUILDING: FAR:	76. <u>644 SF.</u> 2265 SF. / 85 0.21 OF SITE (
	Cast Iron Solid Cover	•	PARKING CALCILATION EXISTING USE:		
	CAST IRON GRATING (DRAINAGE)	0	PROPOSED USE: REQUIRED PARKING:	RESTAURANT: 2,295 S.F. / 100	1 SPACE/100 S.P. 0 = 23 SPACES REQ.
	MANHOLE OR GRATING	0	PROVIDED PARKING:	INCLUDING ! HA	NDICAP SPACE
	SANITARY SEMER	®		KING SPACES FROM 28 TO T S	PACES.
	DRAINAGE INLET	• •	AREA OF PAVING:	9,420 S.F.	
	DRAINAGE MANHOLE	•	REAR AND SIDE YARDS		
tan i	GREASE TRAP	O ¢T	SIDE BUFTER (PEST): 21 SIDE BUFTER (EAST): 21 REAR BUFTER (SOUTH):	5 PT. MIK. 4.4 PT.	
AND REPORT OF THE	GAS VALVE	€		ERS AT SOUTH, EAST & WEST.	
	WATER VALVE	©	LANDSCAPING CALCULATION TOTAL AREA OF LANDS		WiDED
-1	WATER METER	®	REGUIRED LANDSCAPIN		6.F. = 1,661 S.F.
	CLEAN OUT	060	REGUIRED FRONT LAND	9 817 S.F. < 1,661 9CAPINS 9C8 X 1,661 S.F	² . = <i>8</i> 905 S.F.
	SEMER VENT PIPE			Landscape 216 S.F. < 1880 Tal Landscaping and Front	
	CATCH BASIN	COLOR	PLANTING REQUIREMENT	<u>134.</u> 9.20° O.C. ON STREET PRONTA	4.12
	BOLLARD	• .	LOT MEDTH	50.0 P BEND PROP. LINE 24.7 P	т.
l	BUILDING ENTRANCE PEDESTRIAN		TREES REGURED TREES PROPOSED	2 TREE	
	BUILDING ENTRANCE OVERHEAD DOOR			ONT YARD TREE PLANTINGS.	
	TEST HOLE LOCATION		NOTES OF TOWN FROM	RTY ON UNION PLYD.	
	FLOW ARROW	>	I. PROPERTY OWNER TO LANDSCAPING (GRASS	REMOVE EXISTING ASPHALT (AREA).	Paying on tokin propi
	PROPERTY LINE	***************************************	2. PROFERTY OWNER TO	O REMOVE APPROXIMATELY	20 S.F. OF EXISTING ACT
, .	OVERHEAD ELECTRIC	OH	WALKWAY FOR PEDEST	ROVED CONCRETE LANDING A IRLANS.	i ine existing marke
	GAS MAIN (SERVICE)				
	MATER MAIN (SERVICE)	N	1267 T 1212 F F F F F		
	STORM DRAIN				
į.	SANITARY (SEMER)				
	CHAIN LINK FENCE	X	in godina A		
	VINYL FENCE		gradient in de la company de la company de la company de la company		
	STOCKADE PENCE				
	CURB				
	SIDENALK				
	LEACHING POOL	0			
	HYDRANT	HYD			

ADDRESS	214 UNION BLVD.	
	MEST ISLIP, NY 11795	
DISTRICT: SECTION	500 454	
BLOCK:	2	
LOT(S).	18	
ZONE:	SUS I	
existing occupancy use. Proposed occupancy use.	M MERCANTILE	
	B Business	

_	REGURED	EXISTING	PROPOSED
MIN. LOT AREA	1,500 SQ. FT.	8,908 SQ. PT.	8,903 50. PT.
MIN. WIDTH LOT	65 PT.	50.0 PT.	50.0 PT.
MIN. FRONT YARD	IO PT.	iß.J PT.	16.1 PT.
MIN. SIDE YARD	10 PT. / 20 PT.	49 PT. / 282 PT.	4.9 PT. / 28.2 FT.
MIN. REAR YARD	Ю РТ.	± 101.4 FT.	± 101.4 PT.
MAX. FAR	0.40 × 8508 SQ. PT. 3,521,2 SQ. PT.	1,483 SQ. PT. / O.18	2,265 SQ. PT. / 0.21
MAX. HEIGHT	95 PT.	24.9 PT. /2 STORY	24.9 PT. /2 STORY

SITE DESIGN DATA (LOT. 18)

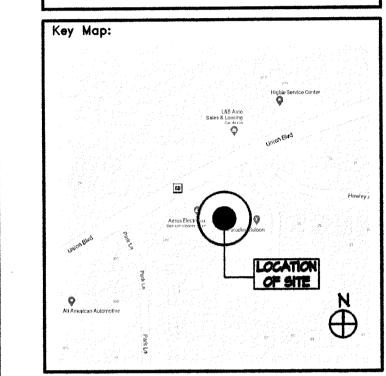
SIDE BUTTER (VEST), 25 FT. MIN.

PROPERTY OWNER TO REMOVE EXISTING ASPHALT PAYING ON TOWN PROPERTY TO PROVIDE 648 S.F. OF ADDITIONAL

l **property owner to remove approximately 120 s.f. of Engithe Asphal**t paying on town property to ROYDE A CODE APPROVED CONCRETE LANDING AT THE EXISTING HANDICAP RAMP AND CONTINUOUS CONCRETE

SURVEY INFORMATION RECEIVED FROM: HOMESTEAD LAND SURVEYING PC DATED: MARCH 24, 2021 ELEVATIONS REFER TO NAVD, 1988

GRAPHIC SCALE 20' (IN FEET) 1 INCH = 20 FEET



CHANGE OF USE AT

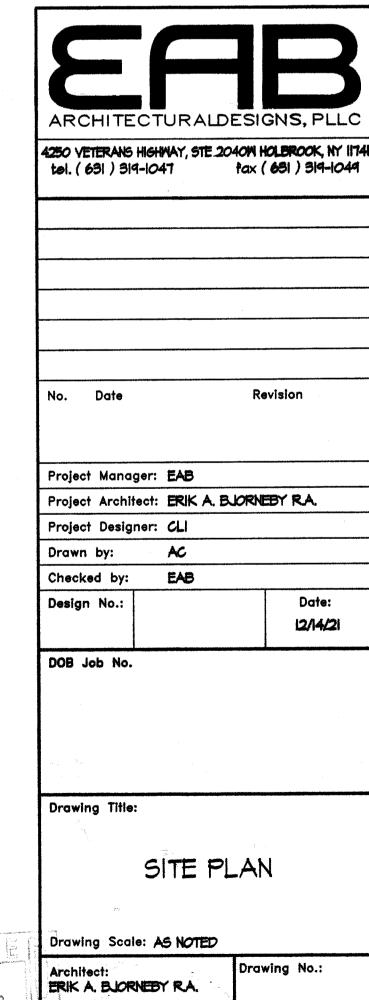
EXIST. BUILDING 214 UNION BLVD.

WEST ISLIP, NY 11795

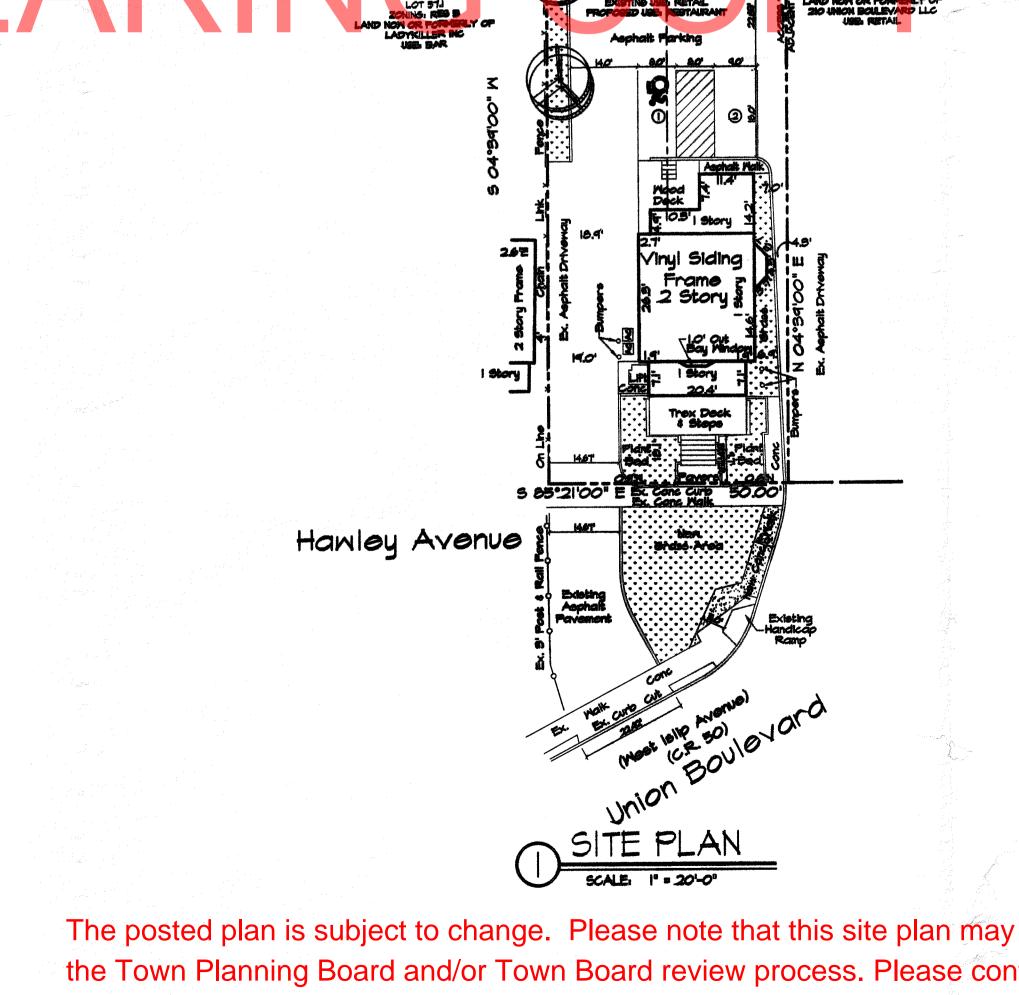
DIST: 500 SECT: 454 BLOCK: 2 LOT: 18

CONTRACTORS:

ENGINEERS:



Sheets in Contract:



The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.