

ALL WORK ALONG MONTAUK HWY.
SUBJECT TO NYSDOT APPROVAL.
REFER TO PLAN PREPARED FOR
NYSDOT APPROVAL.

ZONING ANALYSIS TABLE

	Proposed BD Code Section	Required Zone Bd	Existing Condition	Proposed Condition (No Change)
Code Article				
Min. Lot Area (Sq. Ft.)	§ 68-263	7,500	34,349.2	34,349.2
Min. Width of Lot (Ft.)	§ 68-264	65	266	266
Front Yard Setback (Ft.)	§ 68-265	1	9.3	9.3
Second Corner F.Y. Setback (Ft.)	§ 68-265	10	196.1	196.1
Min. Side Yard, One Side (Ft.)	§ 68-266	0	5.7	5.7
Min. Total Both Side Yards (Ft.)	§ 68-266	0	N/A	N/A
Min. Rear Yard Setback (Ft.)	§ 68-267	10	43	43
Max. F.A.R. (%)	§ 68-261	60%	29.1%	29.1%
Max. Height (Ft.)	§ 68-260	35'	26'	26'
Landscape Area Front (%)	See Notes Below &		67.8%	67.8%
Landscape Area Total (%)	See Landscape Calculations		29.7%	29.7%

NOTES:
Landscape Area Shall Be 20% of Total Lot Area
Front Landscape Area Shall Be 50% of The 20% Total Lot Area per
Subdivision and Land Development Regulations (Not Incl. Buffers)

1. A SEPARATE SIGN PERMIT SHALL BE REQUIRED PRIOR TO ANY INSTALLATION.

PARKING CALCULATION

USE	REQUIREMENT	UNITS	REQUIREMENT
RETAIL	1 STALL / 150 S.F. G.F.A.	5,000 S.F.	33.3 STALLS
APARTMENTS	1.75 STALL / UNIT < 3 BEDROOMS	5 UNITS	8.75 STALLS
ADA REQ'T.	2 ACCESSIBLE STALLS FOR 26 + 50 STALLS	36 STALLS PROVIDED	2 STALLS

TOTAL STALLS REQUIRED: 42.08 STALLS
TOTAL STALLS PROVIDED: 36 STALLS
(INCL. 2 ACCESSIBLE)
LAND BANK STALLS PROVIDED: 2 STALLS
DEFICIT: 4.08 STALLS
% DEFICIT: 9.7%

LANDSCAPE CALCULATION

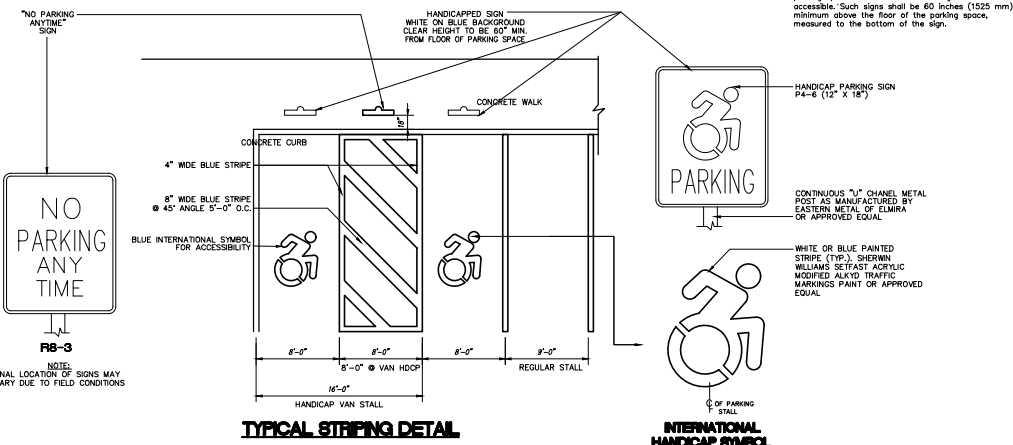
ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LANDSCAPE AREA	20% OF 34,349.2 = 6,870	0%	10,188.4 SF
LANDSCAPE AREA FRONT	50% OF 6,870 = 3,435	0%	4,658.9 SF
STREET TREES	400 LF / 20 FT = 20 EA.	0	20 EA.

LANDSCAPE PLANTING SCHEDULE

QTY.	LABEL	BOTANICAL NAME	COMMON NAME	NOTES
TREES				
10	PC	Pyrus Calleryana	Callery Pear	4" caliper/ wire friendly variety
10	AR	Acer rubrum	Red Maple	4" caliper/ wire friendly variety
36	AA	Thuja occidentalis	Nigra Arborvitae	5' - 6' ht.
SHRUBS				
4	HY	Hydrangea	Endless Hydrangea	5 gallon
54	JG	Ilex glabra	Inkberry	18" - 24" ht.
24	JU	Juniperus conferta	Shore Juniper	3 gallon
PERENNIALS				
8	HO	Hosta in variety	Hosta	1 gallon
3	LV	Lavandula 'Hidcote'	Perennial Lavender	1 gallon
10	SE	Sedum 'Autumn Joy'	Perennial Sedum	1 gallon

NOTE: PROPOSED GROUND COVER IN LANDSCAPED AREAS SHALL BE TOP SOIL & SEED
NOTE: ALL TREES 10" CALIPER OR GREATER ON-SITE TO BE PRESERVED TO THE
MAXIMUM EXTENT POSSIBLE UNLESS SEVERELY DAMAGED OR COMPROMISED
NOTE: INGROUND IRRIGATION SYSTEM REQUIRED ALONG ENTIRE ROAD FRONTAGES
AND BUFFER ZONES.

- KEY**
- TC 6.70
BC 6.20
 - TC 7.53
BC 7.10
 - 5.50
 - X 7.53
 - L1
- PROPOSED CURB ELEV.
EXIST. CURB ELEV.
PROPOSED SPOT ELEV.
EXIST SPOT ELEV.
PROPOSED PARKING LOT LIGHT



SCTM: 500-370-3-1.7

NOTE:
PLANS HAVE BEEN REVIEWED, UPDATED AND
AMENDED PER ISLIP TOWN ENGINEER COMMENTS BY:
CRAIG M. LEHAT, P.E., P.L.S.
NEW YORK STATE LICENSED
PROFESSIONAL ENGINEER AND LAND SURVEYOR
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SAYVILLE, N.Y. 11782
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- Revisions:
- 10 4/04/23 REV. PER TOWN OF ISLIP COMMENTS-CML
 - 9 3/6/23 REV. SECOND FLOOR TO APARTMENT USE-CML
 - 8 08/24/21 REV. PLANS PER TOWN ZONING COMMENTS
 - 7 07/06/21 REV. PLANS PER TOWN COMMENTS
 - 6 05/25/21 REV. PLANS PER TOWN SNO COMMENTS
 - 4 08/14/20 REV. PLANS PER OWNER
 - 3 9/5/18 REV. PER TOWN OF ISLIP COMMENTS-CML
 - 2 01/26/20 REV. PLANS PER TOWN COMMENTS

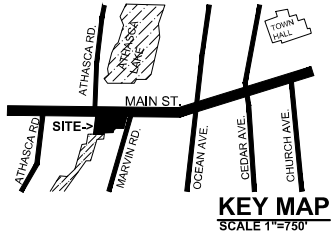
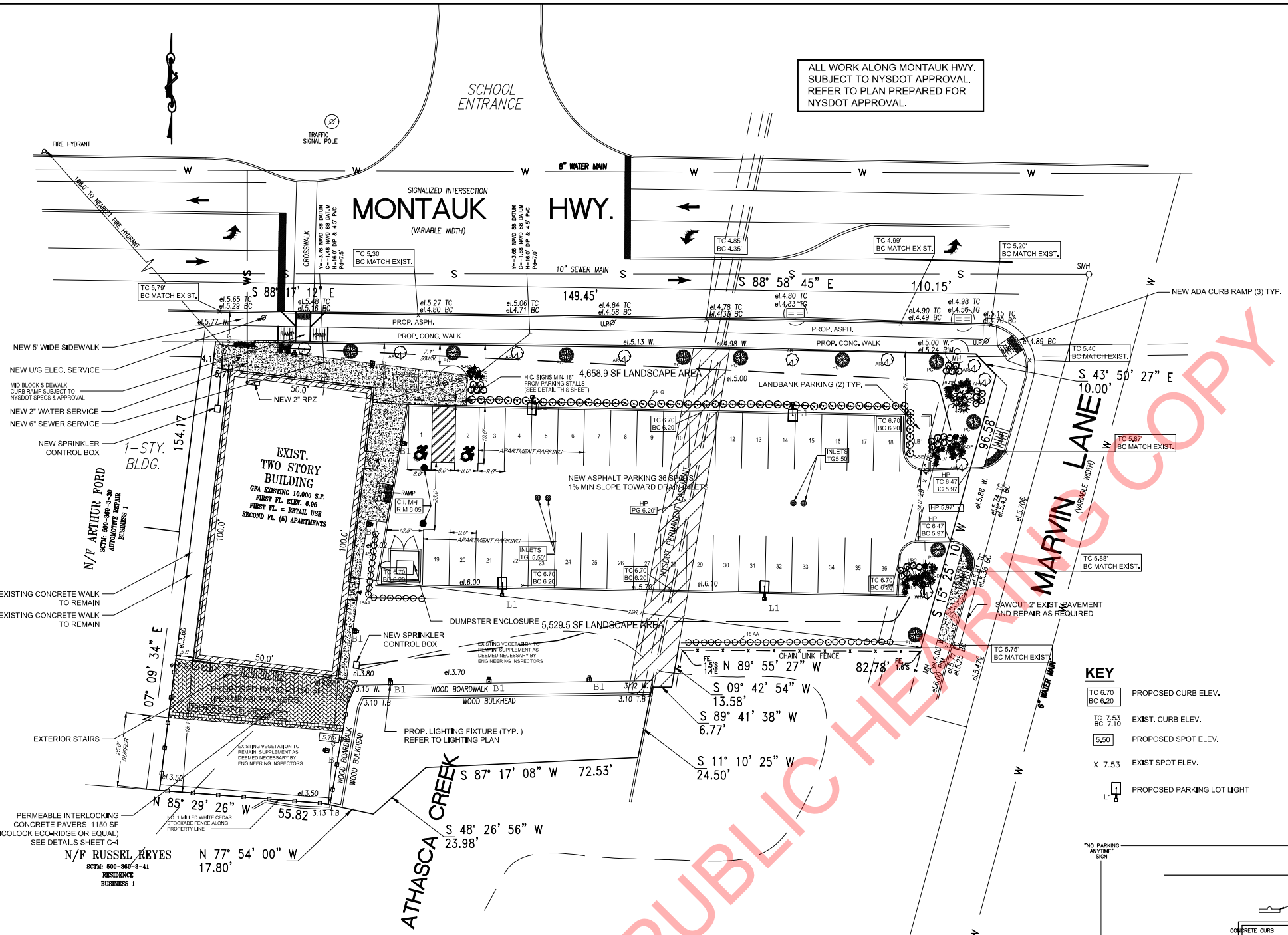
Project: **The Laundry Room Realty Co., LLC**
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ISLIP, NY

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Date:	3/14/17
Scale:	NOTED
Drawn by:	MDR
Chk. by:	MDR

Dwg. No. **C-2**
OF



SITE PLAN
SCALE: 1"=20'

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.