

**SUNRISE HIGHWAY**  
(NYS ROUTE 27)  
Location of Sunrise Highway Prior to Its Realignment Per Deed  
R=11347.16'  
L=249.80'

Property Line As Per Appropriation Parcel Map No. 284  
Recorded in County Clerk's Office On January 12, 1994

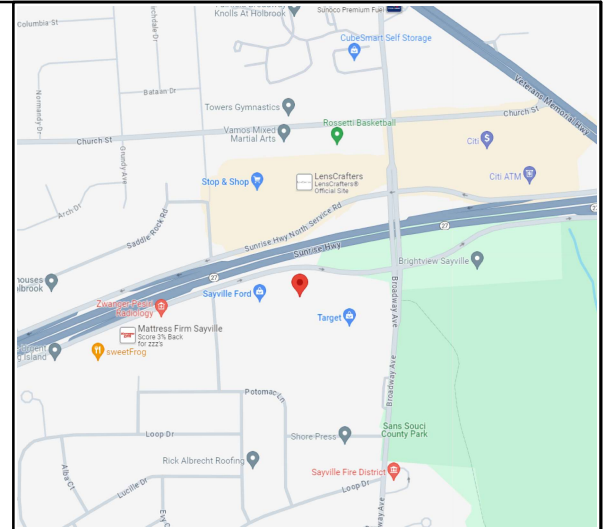
**SUNRISE HIGHWAY**  
**SOUTH SERVICE ROAD**  
R=953.00'  
L=265.84'

TOWN OF ISLIP DEPARTMENT OF PLANNING & ENGINEERING DIVISION NOTES

- CONTACT ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
- OBTAIN A TOWN RIGHT-OF-WAY PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610). CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERRECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICE SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVE SURFACES ARE PROPOSED OVER THE ROUTING PATH.
- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 25B.
- CONSTRUCTION AND DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY, LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P.5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL PAGES 5A.75 AND 5A.76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/ OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AND UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

**SIGN LEGEND**

SIZE	SYMBOL	
(18"x18") R1-1		1
(18"x24") R7-8		2
(24"x24") R3-1		3
(24"x24") R3-2		4
(30"x30") R5-1		5
ONE WAY (36"x12")		6
NO PARKING (12"x18")		7



**KEY MAP**  
NOT TO SCALE

**PARKING CALCULATIONS**

Parking Required	Retail Establishment (Sales Office) = 1 / 200 s.f. GFA	5,728.5 S.F.	= 28.6 Parking Spaces
200 S.F. of GFA / Space			
Retail Establishment (Sales Floor)	= 1 / 150 s.f. GFA	4,949.5 S.F.	= 33.0 Parking Spaces
150 S.F. of GFA / Space			
Repair Garage Space	= 1 / 200 s.f. GFA	16,764.3 S.F.	= 83.8 Parking Spaces
200 S.F. of GFA / Space			
Parts/Storage Space	= 1 / 150 s.f. GFA	4,286.4 S.F.	= 28.6 Parking Spaces
150 S.F. of GFA / Space			
<b>Total Parking Required</b>			<b>= 178.0 spaces</b>

**Parking Provided**

Employee Parking	= 41 Spaces Provided
Patron Parking	= 60 Spaces Provided
Service Parking	= 73 Spaces Provided
<b>Total Parking Provided</b>	<b>= 174 spaces</b>

**Handicapped Spaces (BO Table 1106.1)**

186 Provided (151-200 Spaces)	= 6 Spaces
<b>Total Handicapped Spaces Req'd.</b>	<b>= 6 spaces</b>
<b>Total Handicapped Spaces Provided.</b>	<b>= 6 spaces</b>

**APPLICANT/OWNER INFO:**  
5700 SUNRISE REALTY, LLC  
C/O OLIVER BRODLIEB  
2300 NORTHERN BLVD  
GREENWICH, NY 11548  
PHONE: 516-455-4282  
E-MAIL: BBROWN@CALTD.COM

**GENERAL NOTES**

- THE DEVELOPER MUST NOTIFY THE TOWN ENGINEERING DIVISION 48 HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY OFFSITE DRAINAGE, CURBS, SIDEWALK APRON OR PAVING WORK TO FOLLOW NYSOT REQUIREMENTS FOR OFF-SITE CONSTRUCTION SINCE ROADWAY IS UNDER THEIR JURISDICTION.
- EXISTING CURBS, SIDEWALKS AND DRAINAGE APRONS ARE TO BE REMOVED AND REPLACED FROM EXPANSION JOINT TO EXPANSION JOINT TO ITS FULL DEPTH FOR INSTALLATION AND/OR REMOVAL OF CURBS CUTS AND FOR THE REPLACEMENT OF DAMAGES WHETHER INCURRED PRIOR TO OR DURING CONSTRUCTION.
- ALL LANDSCAPED AREAS SHALL BE UNDERGROUND SPRINKLER SYSTEMS IN ACCORDANCE WITH TOWN SPECIFICATIONS.
- ALL SITE WORK CONCRETE SHALL BE MIN. 4000 PSI AT THE END OF 28 DAYS.
- THE DEVELOPER MUST NOTIFY THE TOWN ENGINEERING DIVISION 48 HOURS IN ADVANCE OF THE COMMENCEMENT OF ANY ONSITE DRAINAGE, CURBS, OR PAVING WORK.
- ALL LEACHING BASINS SHALL BE CLEANED OF ALL SLIT & DEBRIS AFTER CONSTRUCTION IS COMPLETE.
- CONTRACTOR MUST COMPLY WITH APPROVED WORKING DRAWINGS & REQUIREMENT SHEETS, NO DEVIATION PERMITTED.
- ALL SOLID MANHOLE COVERED SHALL BE BROUGHT TO FINISH GRADE.

**PAVEMENT MARKING LEGEND**

18"	24"
STOP BAR PAINTED WHITE	DIRECTIONAL ARROW PAINTED WHITE

**ZONING ANALYSIS & CALCULATIONS - TOWN OF ISLIP**

USE: MOTOR VEHICLE DEALERSHIP | LOT AREA = 129,335.11 SF (2.97 ACRES)

ZONE	ZONING ITEM	ZONING CODE	REQUIRED/ALLOWED	EXISTING	PROPOSED
BUSINESS 3 DISTRICT (BUS3)	MIN. LOT AREA	§68-308K	160,000.0 S.F.	129,335.11 S.F.	129,335.11 S.F.
	MIN. LOT WIDTH	§68-310A(5)	100 FT	163.4 FT	163.4 FT
	LOT OCCUPANCY	§68-307A	0.25 FAR	0.18 FAR	0.24996 FAR
	MIN. FYSB	§68-311A & 68-411	60 FT	79.0 FT	80.9 FT
	MIN. SYSB	§68-312A	10 FT	19.7 FT	19.7 FT
	MIN. RYSB	§68-313A	10 FT	304.7 FT	304.7 FT
MAX BUILDING HEIGHT	§68-306A	35 FT	26'-10"	26'-10"	

**Property Information**

Suffolk County Tax Map No. 0500-237.00-02.00-018.004

**Project Title**

**PROPOSED ONE STORY ADDITION**

**SP2023-061**

SP2023-061

**ALIGNMENT & LANDSCAPE PLAN**

Scale: 1"=30'

Date: 8/22/2023

Job No.:

Drawing No. **C-2**

**Northcoast Civil**

LAND SURVEYING & CIVIL ENGINEERING

39 WEST MAIN STREET  
OYSTER BAY, NY 11771  
P: 516.652.3033 | F: 516.652.7475

**LANDSCAPE CALCULATIONS**

REQUIRED	PROVIDED
20% OF TOTAL SITE = 129,335.1 SF x 0.20 = 25,867.0 SF	7,045.4 SF = [5.45%] TOTAL EXISTING/PROPOSED LANDSCAPING
50% IN FRONT YARD = 25,867.0 SF x 0.50 = 12,933.5 SF	1,797.8 SF = [6.95%] TOTAL EXISTING/PROPOSED FRONT YARD LANDSCAPING

- LIST OF RELAXATIONS & PLANNING BOARD GRANTS REQUIRED:**
- LANDSCAPING:**
- A minimum of twenty (20) percent of the plot area shall be landscaped and maintained as indicated on the site plan. Buffer areas shall not be included when calculating the minimum required twenty percent (20%) landscaped area.
    - 5.35% PROVIDED
  - A minimum of fifty (50) percent of all required landscaping shall be located within the primary or secondary front yard areas of the site unless specifically modified by the Commissioner of Planning.
    - 6.55% PROVIDED
  - A landscaped area with a minimum depth of eight (8) feet shall be provided along all street frontages.
    - 5' PROVIDED
  - A buffer area of twenty five feet (25') shall also be required whenever a commercial, industrial or service use adjoins a residential use or zone.
    - 5' PROVIDED
- PARKING:**
- Overhead doors are not allowed to face the frontage. OVERHEAD DOORS PROPOSED TO FACE FRONTAGE.
  - 178 required parking spaces.
    - 174 PROPOSED PARKING SPACES

**LANDSCAPE CALCULATIONS**

REQUIRED	PROVIDED
20% OF TOTAL SITE = 129,335.1 SF x 0.20 = 25,867.0 SF	7,045.4 SF = [5.45%] TOTAL EXISTING/PROPOSED LANDSCAPING
50% IN FRONT YARD = 25,867.0 SF x 0.50 = 12,933.5 SF	1,797.8 SF = [6.95%] TOTAL EXISTING/PROPOSED FRONT YARD LANDSCAPING

**NOTE:** TOWN OF ISLIP SITE PLAN REVIEWER SHALL REVIEW THE ENCLOSED DOCUMENT FOR MINIMUM ACCEPTABLE PLAN SUBMITTAL REQUIREMENTS OF THE TOWN OF ISLIP AS SPECIFIED IN THE BUILDING AND/OR RESIDENTIAL CODE OF THE STATE OF NEW YORK. THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THE SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS:

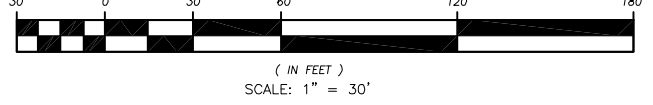
- ACCURATE
- CONFORMS WITH GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION
- CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARDING OF LIFE, HEALTH, PROPERTY AND PUBLIC WELFARE
- IS THE RESPONSIBILITY OF THE LICENSEE

**NOTE:** EXISTING SURVEY CONDITIONS TAKEN FROM SURVEY PREPARED BY NY LAND SURVEYOR P.C., LAST DATED 5/22/2023

**NOTE:** ALL ELEVATIONS SHOWN BASED ON NAVD-88

**NOTE:** THERE ARE NO EXISTING OR PROPOSED EASEMENTS ON THE SUBJECT PARCEL

**GRAPHIC SCALE**



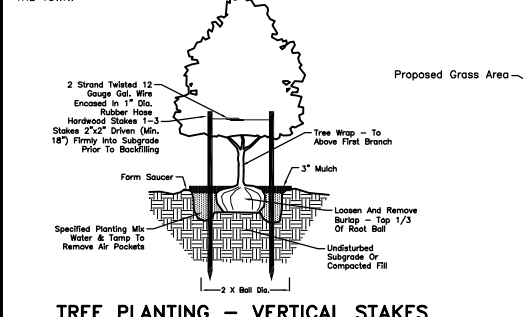
**LEGEND**

	C.B.	Catch Basin
	G.V.	Gas Valve
	M.H.C.	Manhole Cover
	Hyd.	Hydrant
	L.P.	Light Pole
	S.I.D.	Surface Inlet drain
	U.P.	Utility Pole
	W.M.	Water Meter
	W.V.	Water Valve
	A/C	Air Conditioner
	Traffic Pull Box	
	98.82	Exist. Spot Elev.
	98.82	Prop. Spot Elev.
	FLOW	Flow Arrow
	Lighting Conduit	

**PLANTING LIST**

COMMON NAME	SCIENTIFIC NAME	Planting Specifications
Street Keeper Honeylocust	<i>Decaloba villosa</i> 'Dore's' PP 21688	(14) - Planted around frontage 20' O.C.
Dorothy Wyoff Japanese Andromeda	<i>Pieris japonica</i> 'Dorothy Wyoff'	(26) - Planted along frontage and refuse
Goldstrife Japanese Aucuba	<i>Aucuba japonica</i> 'Mr. Goldstrife'	(26) - Planted along frontage and refuse

- GENERAL PLANTING NOTES**
- ALL PLANT MATERIALS AND METHODS OF INSTALLATION SHALL CONFIRM TO THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
  - ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING OR PAVEMENT, NOT INDICATED TO REMAIN UNDISTURBED, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE LAWN, TYPE AS NOTED.
  - ALL PLANTS NOT OTHERWISE DESIGNATED ARE TO BE DELIVERED BAB (BALLED AND BURLAPED), NO BARE ROOT OR FIELD CLUMP MATERIAL IS ALLOWED (EXCEPT BULBS AND DAYLILIES).
  - LAYOUT SHRUBS IN APPROXIMATE LOCATIONS AND OBTAIN APPROVAL OF LANDSCAPE ARCHITECT (LA) BEFORE PLANTING. LA WILL PLACE ALL PERENNIALS AND INDICATE GROUND COVER SPACING IN THE FIELD.
  - REPORT ANY UNSATISFACTORY CONDITIONS IMMEDIATELY TO THE OWNER OR LANDSCAPE ARCHITECT FOR RESOLUTION. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR UNSATISFACTORY CONDITIONS REPORTED AFTER THE FACT OR AFTER COMPLETION OF PLANTING.
  - ALL AREAS DISTURBED BY CONSTRUCTION TO BE REPAIRED OR RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
  - PLANTING SOIL MIXTURE: 2 PARTS NATIVE SOIL TO 2 PARTS TOPSOIL TO 1 PART ORGANIC COMPOST.
  - ALL LAWN AREAS TO RECEIVE 4" TOPSOIL, PLANT AND ANNUAL BEDS 12" TOPSOIL.
  - APPLY 15 LBS 5-10-10 FERTILIZER, 70 LBS LIMESTONE FER 1000 SF TO ALL NEW AREAS. ADJUST PER SOIL TEST.
  - HYDRO SEED ALL SEEDED LAWN AREAS WITH VICTA KENTUCKY BLUEGRASS, 45% LORETTA PERENNIAL RYEGRASS 20%, PENNIN PERENNIAL RYEGRASS 20%, ANNUAL RYEGRASS 15% TACKIFIER AND HYDROMULCH IN ACCORDANCE WITH SPECIFICATIONS.
  - ALL PLANTS AND WORKMANSHIP SHALL BE GUARANTEED AND MAINTAINED FOR ONE YEAR AFTER FINAL ACCEPTANCE AND COMPLETION OF WORK FOR THIS CONTRACT. ALL PLANTS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION. ANY PLANT NOT MEETING THESE CONDITIONS SHALL BE REPLACED WITH A PLANT OF SIMILAR SIZE AND TYPE AT THE NEXT PLANTING SEASON.
  - ALL PLANTED AND GRASSED AREAS OF THE SITE TO BE IRRIGATED.
  - ANY EXISTING TREE(S) SHOWN TO REMAIN WHICH ARE REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH A 4" CALIPER TREE(S) AS DIRECTED BY THE TOWN.



**ZONE:** Business-3  
**USE:** RECHARGE BASIN  
**OWNER:** Town of Islip  
0500-237.00-02.00-018.003

