

CONSTRUCTION DOCUMENTS - 10-24 MONTAUK HWY

SITE PLAN MODIFICATION

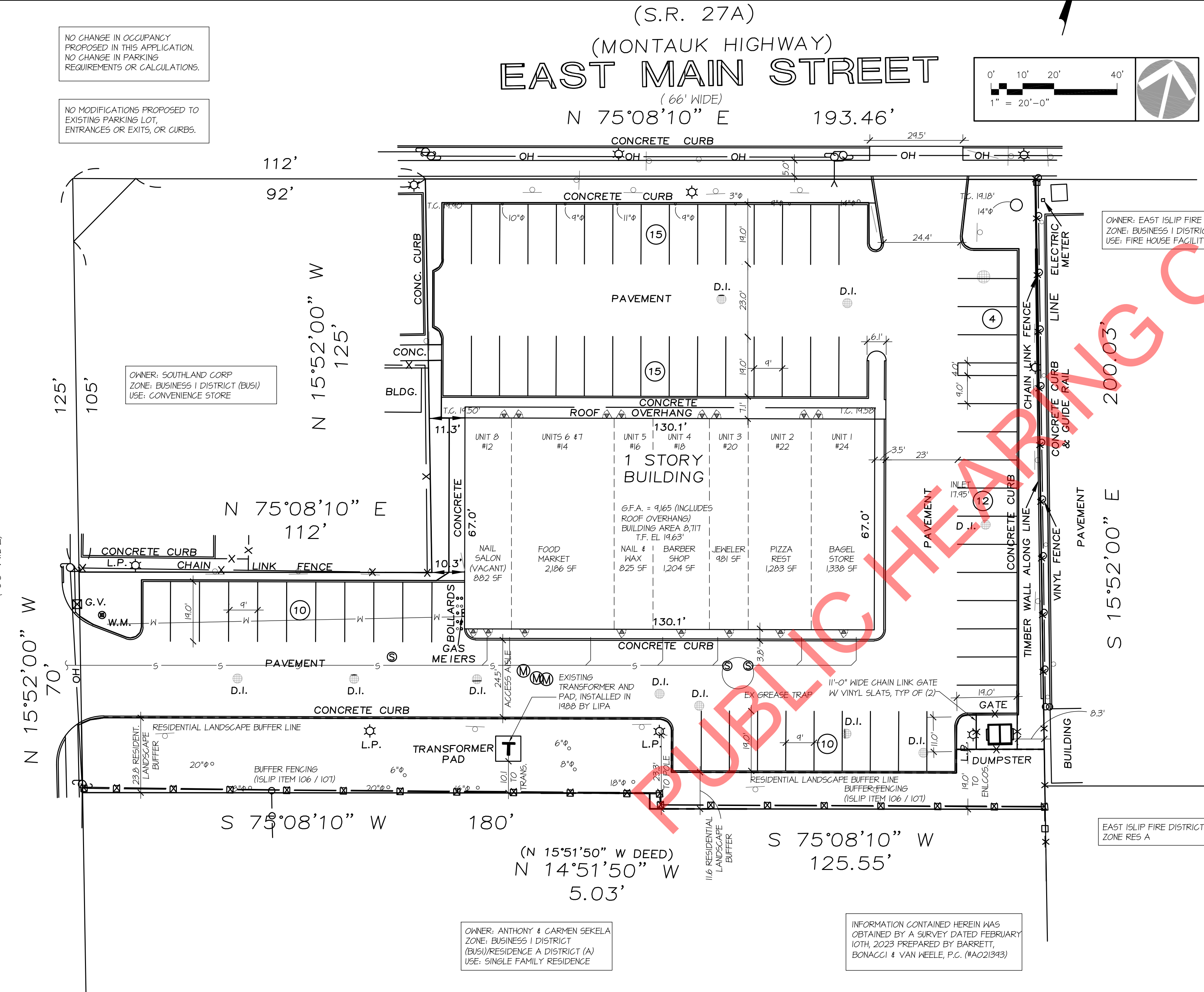
10-24 MONTAUK HWY EAST ISLIP, NY 11730

STEVE AFFELT ARCHITECT

PHONE: (631) 553-6333
PO BOX 762
GREAT RIVER, NEW YORK 11734

SITE PLAN

SCALE: 1"=20'-0"



SCOPE OF WORK:

LEGALIZE REFUSE ENCLOSURE IN EXISTING LOCATION. EXISTING LOCATION IS 4'-0" OVER THE REQUIRED RESIDENTIAL BUFFER. LEGALIZE EXISTING ELECTRICAL TRANSFORMER WITHIN RESIDENTIAL BUFFER. TRANSFORMER, DUMPSTER, AND REFUSE LOCATION HAS BEEN IN EXISTENCE SINCE 1988.

ZONING ANALYSIS

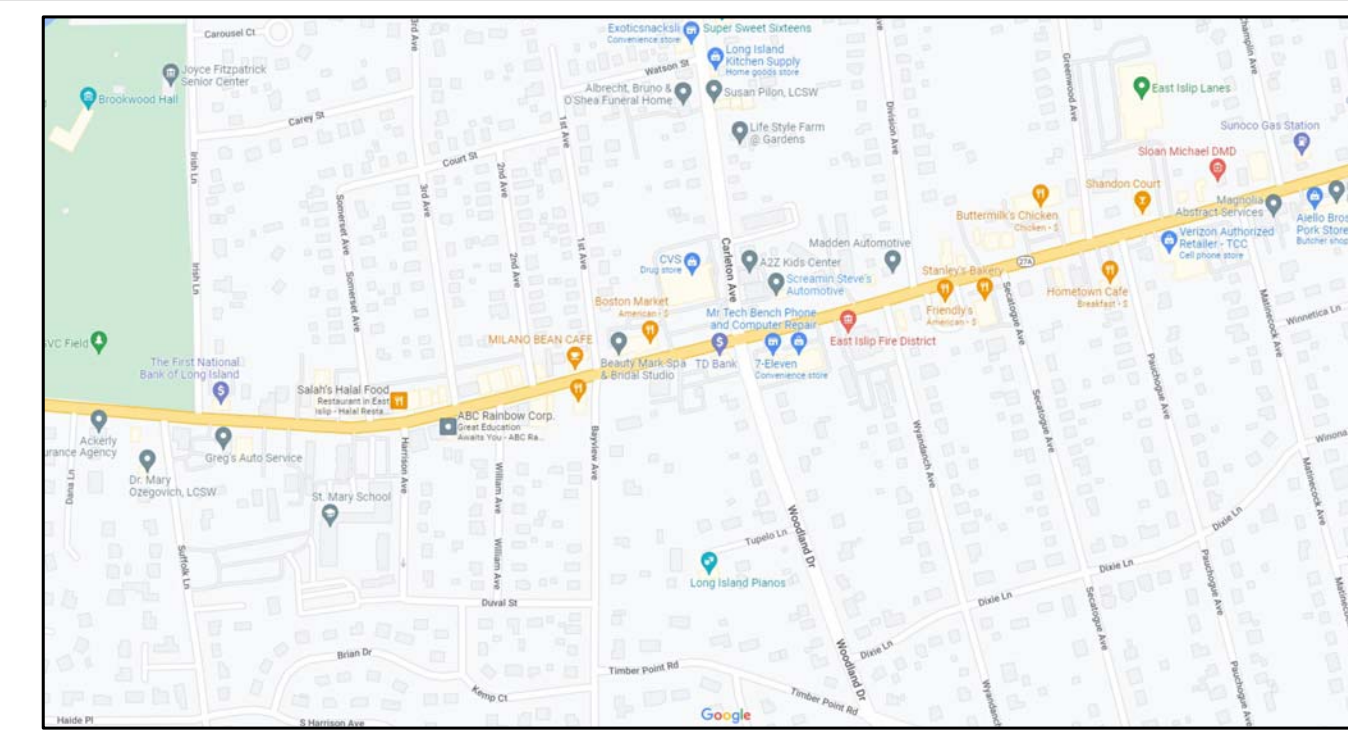
ADDRESS:	10-24 MONTAUK HWY EAST ISLIP, NY 11730
SCIM #:	0500-372.00-05.00-46.004
ZONING DISTRICT:	BUSINESS 1 DISTRICT (BUS1)
PROPERTY DESCRIPTION:	MULTIPLE TENANT COMMERCIAL BUILDING
NUMBER OF STORIES:	1 STORY EXIST

DESCRIPTION	REQ	ACTUAL	COMPLIANCE
GENERAL REQUIREMENTS			
LOT AREA	7,500 SF	46,189 NO CHANGE	YES
LOT WIDTH	65'-0" MIN	70' NO CHANGE	YES
REQUIRED FRONT YARD	10'-0" MIN	75.9' NO CHANGE	YES
REQUIRED SIDE YARD	10'-0" MIN	10.3' NO CHANGE	YES
REQUIRED REAR YARD	15'-0" MIN	52.1' NO CHANGE	YES
FAR	40% MAX (18.475)	19.8% NO CHANGE	YES
LANDSCAPED AREA	9,238 (20%)	9,903 SF (21.4%) NO CHANGE	EXIST NON-COMPY
50% OF LANDSCAPE IN FRONT	4,619 (50%)	3,867 SF (39.0%) NO CHANGE	EXIST NON-COMPY
FLOOD ZONE			NO

DRAWING INDEX

DWG. NO.	DRAWING TITLE	INITIAL ISSUANCE	LATEST ISSUANCE
T-001.00	TITLE SHEET, BUILDING ADDRESS & DRAWING INDEX	01/04/23	0

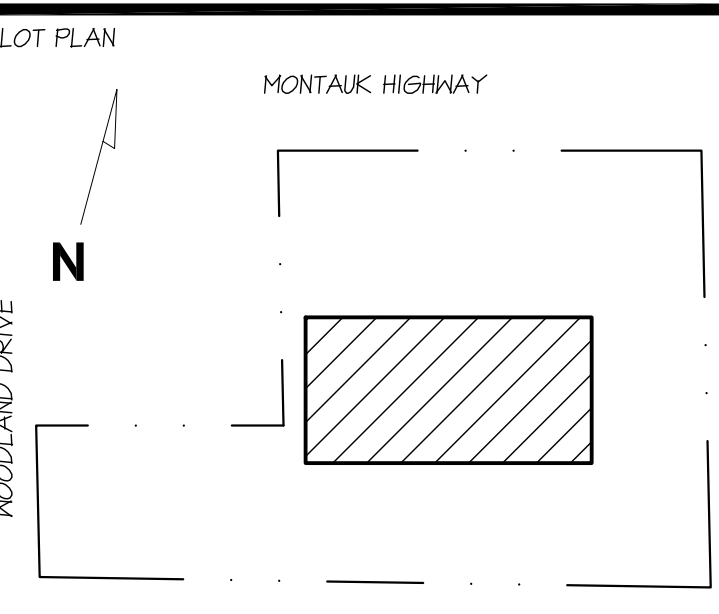
LOCATION MAP SCALE: 1"=500'-0"



PARKING CALCULATIONS

STORE #	TENANT	GROSS FLOOR AREA	PARKING DENSITY	SUBTOTAL
1	BAGEL SHOP	1,338 SF	1 PER 150 SQUARE FEET OF GFA	8.92
2	PIZZA RESTAURANT	1,301 SF (32 SEATS)	1 PER 2 SEATS OF PERMANENT SEATING	1.6
3	JEWELER	981 SF	1 PER 150 SQUARE FEET OF GFA	6.54
4	BARBER SHOP	1,204 SF	1 PER 150 SQUARE FEET OF GFA	8.03
5	COMPUTER STORE	825 SF	1 PER 150 SQUARE FEET OF GFA	5.5
6 & 7	MEAT MARKET	2,186 SF	1 PER 150 SQUARE FEET OF GFA	14.57
8	NAIL SALON	882 SF	1 PER 150 SQUARE FEET OF GFA	5.88
TOTAL REQUIRED				66 = 66 PROVIDED = O.K.

OWNER INFORMATION:	
NAME:	MARTINO HOLDING CO., LLC.
NAME:	DOMENICK MARTINO
STREET ADDRESS:	648 CONNETQUOT AVE
TOWN:	ISLIP TERRACE
STATE:	NY
POSTAL CODE:	11752
TELEPHONE:	(516) 356-6207
EMAIL:	MARTINOHOLDINGCOLLCO@GMAIL.COM



NO.	DATE	DESCRIPTION
01	01/04/23	ISSUED FOR REVIEW
02	05/16/25	ISSUED FOR REVIEW



PROJECT NAME:	
10-24 MONTAUK HWY	
REFUSE ENCLOSURE	
STREET ADDRESS:	10-24 MONTAUK HWY
TOWN:	EAST ISLIP
STATE:	NEW YORK
POSTAL CODE:	11730
SCIM #:	0500-372.00-05.00-46.004
SITE PLAN APP #:	SP2023-004

TITLE PAGE, DWG INDEX & SITE PLAN

	PROJECT NUMBER:	2022-0062
	INITIATED DATE:	11-20-22
	DRAWN BY:	SBA
	CHECKED BY:	SBA
T-001.00		
PAGE:		1 OF 3

WOODLAND DRIVE
(50' WIDE)

TOWN OF ISLIP STANDARDS

- CONTACT ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES ARE TO BE UNDERGROUND.
- OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610)
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERRECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF WALLS, DUMPING OF MATERIAL, EXCAVATING, MINING, OR OTHER SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY ACTIONS WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHALL'S OFFICE (631-224-5471) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.

- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF 6NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 25B.
- ALL CONSTRUCTION & DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSFERRED TO AN APPROVED NYSDEC FACILITY. LOAD/TWEEPER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P, 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL PAGES 5A.75 AND 5A.76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.

- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/ OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK. A 15) PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.