

### BULK ZONING TABLE

ZONING DISTRICT: GENERAL SERVICE T DISTRICT

ITEM	SECTION	PERMITTED/REQUIRED	PROPOSED
USE	§68-488.C	OFFICES, INCLUDING MEDICAL OFFICES	OFFICES, INCLUDING MEDICAL OFFICES
MAXIMUM LOT AREA	§68-494.E	40,000 SF	52,320 SF
MINIMUM LOT AREA	§68-494.D	10,000 SF	52,320 SF
MINIMUM LOT WIDTH	§68-495.B	100'	250'
MAXIMUM LOT OCCUPANCY (FAR)	§68-493.A	25% OF LOT 52,320 SF x 0.25 = 13,080	9,457 SF / 52,320 SF = 18.08%
MAXIMUM BUILDING HEIGHT	§68-492.A	2.5 STORIES OR 35'	1 STORY
MAXIMUM FRONT YARD	§68-496	25'	27'
MINIMUM SIDE YARD	§68-497	10'	9.8' (WEST)
MINIMUM REAR YARD	§68-498.A	35'	37'
BUFFER AREA	§68-501	MINIMUM BUFFER AREA OF 25' ADJACENT TO RESIDENTIAL USE OR ZONE	9.8'
MINIMUM LANDSCAPE AREA	SOLDR VI-0.3.1	MINIMUM OF 20% OF THE PLOT AREA SHALL BE LANDSCAPED 52,320 SF x 0.20 = 10,464 SF	LANDSCAPE AREA (EXCLUDING BUFFERS): 11,090 SF 11,090 SF / 52,320 SF = 21.20%
MINIMUM FRONT YARD LANDSCAPE AREA	SOLDR VI-0.3.1	MINIMUM OF 50% OF ALL REQUIRED LANDSCAPING SHALL BE LOCATED IN THE FRONT YARD (50% OF 20% = 10% OF ENTIRE LOT) 10,464 SF x 0.10 = 1,046 SF	FRONT YARD LANDSCAPE AREA (EXCLUDING BUFFERS): 3,379 SF 3,379 SF / 11,090 SF = 30.47%

### PARKING CALCULATIONS

ITEM	SECTION	PERMITTED/REQUIRED	PROPOSED
MINIMUM AISLE WIDTH & STALL SIZE	SOLDR VI-0.7.1	8' x 19' STALL SIZE (90° PARKING) WITH 23' AISLE WIDTH	EXISTING STALLS TO REMAIN: [a] 9' x 19' STALLS PROPOSED WITH 25' AISLE WIDTH
HANDICAPPED PARKING	IBC NYS 1106.1	8' x 19' STALL PLUS ADJACENT 8' x 19' TRANSFER AREA 3 REQUIRED ACCESSIBLE STALLS WHEN 51 TO 75 TOTAL STALLS REQUIRED	8' x 19' WITH TRANSFER AREA 3 PROVIDED
MINIMUM NUMBER OF STALLS	SOLDR APPENDIX E	SEE TENANT ROSTER TABLE (THIS SHEET) MEDICAL OFFICE BUILDINGS 1 STALL PER 100 SF OF GFA 5,131 SF / 100 SF / STALL = 51.31 STALLS OFFICE BUILDINGS 1 STALL PER 200 SF / STALL = 21.63 STALLS TOTAL REQUIRED PARKING 34.21 STALLS + 21.63 STALLS = 55.84 = 56 STALLS 56 STALLS REQUIRED	45 PROPOSED 8 PROPOSED LAND BANKED STALLS 53 TOTAL PARKING STALLS (INCLUDES 3 ADA STALLS) 3 STALL DEFICIT (5.36% WAIVER) [w]

- ### GENERAL SITE NOTES
- UNSATURATED MATERIAL, CONSTRUCTION DEBRIS, EXCESS SOILS, ETC. SHALL BE PROPERLY REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.
  - THE CONTRACTOR IS RESPONSIBLE TO TAKE EROSION CONTROL MEASURES NECESSARY IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL TO PREVENT SEDIMENT AND/OR LOOSE DEBRIS FROM WASHING ONTO ADJACENT ROADWAYS AND PROPERTIES.
  - ALL ON-SITE CONCRETE SHALL BE IN CONFORMANCE WITH ACI PROVISIONS. ALL CURBING SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
  - RELOCATION AND/OR REMOVAL OF EXISTING UTILITY POLES, TRAFFIC SIGNS, ETC., SHALL BE COORDINATED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THEIR PRESENCE.
  - WORK WITHIN THE R.O.W. OF CHURCH STREET SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS OF THE TOWN OF ISLIP, SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
  - ALL TRAFFIC CONTROL DEVICES, I.E. SIGNALS, SIGNS, AND PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE GUIDELINES OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DIRECTED BY THE TOWN OF ISLIP DIVISION OF TRAFFIC SAFETY. ALL PAVEMENT MARKINGS REQUIRED SHALL BE THERMOPLASTIC NYSSOT SPECIFICATIONS UNLESS OTHERWISE NOTED ON PLAN.
  - CONTRACTOR SHALL SAWCUT TO THE FULL DEPTH OF EXISTING PAVEMENT WITH A STRAIGHT VERTICAL EDGE FREE FROM IRREGULARITIES WHEREVER NEW PAVEMENT JOINS EXISTING PAVEMENT. CONTRACTOR SHALL DETERMINE EXACT LOCATION AND EXTENT OF THE REQUIRED SAWCUTTING IN ORDER TO PERFORM THE WORKSCOPE DEPICTED ON THE PLANS. TWO FT MINIMUM FROM CURBS, PAVES, WALKS AND WALLS TO PERMIT PROPER CONTACT OF THE REPLACED SURFACES.
  - REMOVAL INCLUDES, BUT IS NOT LIMITED TO, CURBING, PAVEMENT, UNSATURATED MATERIALS, AND UNDERGROUND PIPING. QUESTIONABLE ITEMS ENCOUNTERED (ABOVE AND/OR BELOW GRADE) SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD IMMEDIATELY IN WRITING BEFORE REMOVAL OR DISTURBANCE.
  - THE CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO EXISTING FOUNDATIONS AND OTHER STRUCTURES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF EXISTING FOUNDATIONS AND WALLS. SIDEWALKS AND PAVEMENT TO REMAIN AND SHALL PROVIDE A SAFE WORK AREA. ANY DAMAGE OR DISTURBANCE DUE TO SUBJECT WORKSCOPE SHALL BE REPAIRED TO LIKE-KIND CONDITIONS AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES. ANY TRAFFIC CONTROL, ACCESS, AND SAFETY PROVISIONS WITHIN THE R.O.W. AND ACCESS ROUTES (E.G. ACCESSIBLE RAMPS, PEDESTRIAN CROSSWALKS, PAVEMENT STRIPES, ETC.) SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL DETERMINE APPROPRIATENESS OF REMOVAL ACTIVITIES AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL PERMANENT COMPONENTS/REPLACEMENTS CAN BE INSTALLED.
  - IF SHOWING AT A DEPTH GREATER THAN 5' IS REQUIRED TO ACCOMMODATE CONSTRUCTION ACTIVITIES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HIRE A LICENSED PROFESSIONAL ENGINEER TO DESIGN THE REQUIRED SHEETING AND SHORING DETAILS. SHEETING SHALL BE IN CONFORMANCE WITH OSHA REQUIREMENTS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, SIZE, TYPE, AND DEPTH OF UTILITIES, PIPING, DRIVELIS, ETC. PRIOR TO THE START OF ANY WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IN WRITING IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS, ABOVEGROUND STRUCTURES THAT ARE VISIBLE AND ACCESSIBLE IN THE FIELD, AND RECORD DRAWINGS AVAILABLE AT THE TIME OF THE SURVEY AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTION WITH THE APPLICABLE UTILITY COMPANIES PRIOR TO REMOVAL ACTIVITIES. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE REMOVAL OF STRUCTURES AND FOUNDATIONS WITH SOIL CONSISTING OF MATERIALS FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED SHALL NOT BE LARGER THAN 6 INCHES IN DIMENSION. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTIONS IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 90% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE. REFER TO GEOTECHNICAL REPORT (IF PROVIDED) FOR FURTHER RECOMMENDATIONS. REFER TO GRADING PLAN FOR PROPOSED SURFACE ELEVATIONS.
  - UNDERGROUND STORAGE TANKS, IF ENCOUNTERED, SHALL BE EMPTIED, CLEANED AND REMOVED FROM THE SITE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, AND LOCAL REQUIREMENTS.
  - PROPOSED TREE PROTECTION FENCE TO BE INSTALLED BEFORE THE START OF REMOVAL ACTIVITIES AND TO BE REMOVED AFTER CONSTRUCTION IS COMPLETE. REFER TO LANDSCAPE PLAN FOR DETAILS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES REGARDING MATERIALS AND INSTALLATION OF PROPOSED WORK, FOR OBTAINING THE REQUIRED PERMITS, SIGN OFFS, AND CONSTRUCTION INSPECTIONS, ACCORDING TO GOVERNING BUILDING CODES AND DISPOSAL OF ALL MATERIAL IN ACCORDANCE WITH STATE AND LOCAL LAW.
  - SIDEWALKS, CURBS, OR OTHER EXISTING SITE APPURTENANCES DAMAGED BY CONSTRUCTION SHALL BE REPAIRED OR REPLACED IN KIND OR UNLESS NOTED OTHERWISE (UNO), WHETHER SPECIFIED ON THIS PLAN OR NOT, AT THE SOLE COST OF THE CONTRACTOR.
  - THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS.
  - SEQUENCE AND COORDINATION OF CONSTRUCTION IS SOLELY THE CONTRACTOR'S RESPONSIBILITY.
  - PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN A TOWN OF ISLIP RIGHT-OF-WAY THE OWNER MUST OBTAIN A RIGHT-OF-WAY WORK PERMIT FROM THE TOWN OF ISLIP DEPARTMENT OF PUBLIC WORKS.
  - ANY UTILITIES INCLUDING POLES REQUIRED TO BE RELOCATED DUE TO THE INSTALLATION OF THE REQUIRED IMPROVEMENTS SHALL BE RELOCATED AT THE EXPENSE OF THE OWNER.
  - ALL TRAFFIC ROAD MARKINGS, ROAD SIGNS AND LIGHT SIGNALS THAT MAY HAVE BEEN MOVED OR DAMAGED IN THE PROCESS OF CONSTRUCTION SHALL BE RESTORED AT THE APPLICANT'S EXPENSE TO AT LEAST THE SAME QUALITY AND CHARACTERISTICS THAT EXISTED BEFORE CONSTRUCTION BEGAN. THE APPLICANT SHALL BE FURTHER RESPONSIBLE TO INSURE THAT IN THE ROADWAYS ADJACENT TO THE CONSTRUCTION SITE, THESE MARKINGS, SIGNS AND SIGNALS, ARE MAINTAINED DURING THE ENTIRE PERIOD OF CONSTRUCTION. IF REPLACEMENT OR UPGRADE IS REQUIRED, SAME MUST BE APPROVED BY THE TOWN OF ISLIP DEPARTMENT OF ENGINEERING SERVICES, DIVISION OF TRAFFIC SAFETY AND TRANSPORTATION PLANNING.
  - ALL ACCESSIBLE PARKING, CURB RAMPS, AND OTHER APPURTENANCES OF ACCESSIBLE ROUTES ARE TO MEET THE REQUIREMENTS OF THE 2008 ADA BUILDING AND LEASING CHAPTER 11 ACCESSIBILITY AND SCENARIOS 117.1 - 209.
  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODE.
  - THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST O.S.H.A. STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE MEANS AND METHODS REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF O.S.H.A., AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
  - THE TOPS OF EXISTING MANHOLE, INLET STRUCTURES, AND SANITARY CLEAN-OUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
  - IN CASE OF DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS, IMMEDIATELY NOTIFY THE PROJECT ENGINEER IN WRITING OF ANY CONFLICTS.
  - CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO PROJECT ENGINEER AND OWNER PRIOR TO INITIATING WORK.
  - CONTRACTOR SHALL DOCUMENT, WITH PHOTOS, CRITICAL STAGES OF CONSTRUCTION AND PROVIDE TO ENGINEER OF RECORD AT END OF CONSTRUCTION.
  - THE CONTRACTOR SHALL PERFORM THE WORK AS SHOWN ON THE PLANS AND SPECIFIED HEREIN. THE PLANS SHOW THE GENERAL SCOPE OF THE WORK AND DO NOT NECESSARILY SHOW ALL DETAILS REQUIRED FOR COMPLETE FINISHED WORKING SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIALS AND LABOR AS NECESSARY FOR THE CONSTRUCTION OF COMPLETE WORKING SYSTEMS.
  - ELECTRICAL WORK SHALL BE IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
  - ALL EXCAVATIONS SHALL BE BACKFILLED AT THE END OF EACH WORK DAY OR PROTECTED WITH TEMPORARY FENCING IN COMPLIANCE WITH OSHA REQUIREMENTS.
  - DEWATERING (IF REQUIRED) SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL & STATE REGULATIONS, AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY NECESSARY ASSOCIATED DISCHARGE PERMITS.
  - SIGNS TO BE FILED UNDER SEPARATE APPLICATIONS BY OTHERS.
  - ALL EXISTING TREES SHOWN ON PLANS ARE GREATER THAN OR EQUAL TO 6" CALIPER.

SOLDR - TOWN OF ISLIP - SUBDIVISION & LAND DEVELOPMENT REGULATIONS  
 [a] EXISTING NON-CONFORMITY  
 [w] PLANNING BOARD WAIVER REQUESTED

### LEGEND

EXISTING	ITEM	PROPOSED
---	PROPERTY LINE	
[Hatched Box]	BUILDING	
---	CONCRETE CURB	
[Wheelchair Symbol]	ADA PAVEMENT MARKING	[8]
(20)	PARKING COUNT	[8]
---	STOCKADE FENCE	
↑	SIGN	
[Circle with X]	STORMWATER GRATE	
[Circle with S]	SANITARY MANHOLE COVER	
ENEXT	DOOR	
[Tree Symbol]	TREE	
[Hydrant Symbol]	FIRE HYDRANT	
[Circle with U]	UTILITY POLE	
---	OVERHEAD WIRES	
[Circle]	BOLLARD	



### REFERENCES

THIS PLAN REFERENCES:  
 BOUNDARY SURVEY  
 PREPARED BY:  
 EARL B. LOVELL - S.P. BELCHER, INC.  
 77-16 164 STREET  
 FRESH MEADOWS, NY 11366  
 DATED: 05/12/2025

BUILDING ARCHITECTURAL LAYOUT  
 PREPARED BY:  
 JIM ARCHITECTURE, PC  
 2410 NORTH OCEAN AVENUE  
 FARMINGVILLE, NY 11738  
 DATED: 01/27/2025

VICINITY MAP BACKGROUND DATA  
 PROVIDED BY: SNAZZYMAPS.COM

### TENANT ROSTER

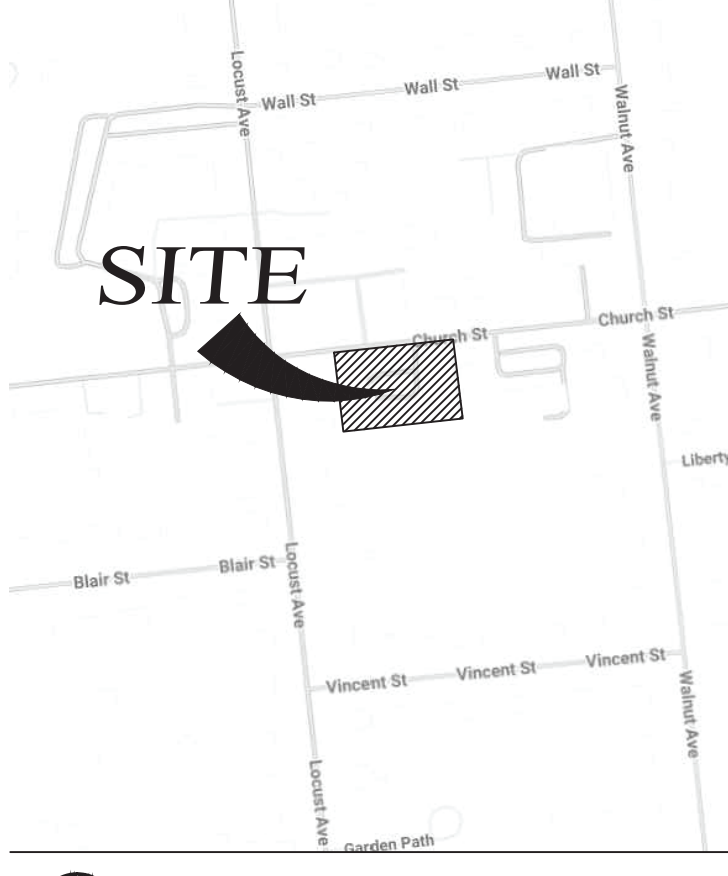
Unit	Tenant Roster	Business Type	Building Area (SF)
1	Dentist Office	Medical Office	2,422
2	Michael Karp, M.D.	Medical Office	1,580
3	Personalized Wealth Management, LLC	Professional Office	595
4	East End Occupational Therapy Corp.	Medical Office	1,129
5	The Law Office of Heather Lucca P.C.	Professional Office	750
6	Suffolk County PBA	Professional Office	884
7	Sellis Real Estate & Insurance Group	Professional Office	1,240
8	Infrastructure Technologies Inc.	Professional Office	857

### TOWN OF ISLIP SITE PLAN NOTES

- CONTACT ENGINEERING INSPECTOR (831-224-4336) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES ARE TO BE UNDERGROUND.
- OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (831-224-6610).
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (831-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDEC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (CAD) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 800.11 OF ENVIRONMENTAL CONSTRUCTION PART 306 "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28B.
- ALL CONSTRUCTION & DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSPORTED TO AN APPROVED NYSDEC FACILITY. LOAD/TTRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P. 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT CONTROL, PAGES 5A.75 AND 5A.76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/ OPERATOR SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

### Parking Formula

Area	Stalls	Formula
Total Medical Office Area	5,131	5,131 / 150 SF / Stall = 34.21
Total Professional Office Area	4,326	4,326 / 200 SF / Stall = 21.63
Total Area	9,457	Total Required Parking Stalls = 56



### PROJECT DATA

APPLICANT / OWNER: SELLIS GROUP LLC  
 888 CHURCH STREET, SUITE 7  
 BOHEMIA, NY 11716  
 (516) 313-2446

TAX MAP NUMBER: Dist. 500, Sect. 212, Block 3, Lot(s) 36

SITE AREA: 52,320 SF (1.201 Acres)

CURRENT ZONING: GENERAL SERVICE T DISTRICT

CURRENT USE: MEDICAL & PROFESSIONAL OFFICE BUILDING

EXISTING FOOTPRINT: 9,457 SF

LANDSCAPE NATURAL AREA: 23,653 SF

PAVEMENT/CONCRETE AREA: 19,022 SF

### REVISIONS

NO.	DATE	BY	DESCRIPTION
1	06/05/25	AD	REV. PER TOWN COMMENTS

**KEY CIVIL ENGINEERING**  
 664 BLUE POINT ROAD, UNIT B  
 HOLTSTVILLE, NEW YORK 11742  
 (631) 861-0506  
 www.KeyCivilEngineering.com

PROJECT NAME: **EXISTING PROFESSIONAL AND MEDICAL OFFICE BUILDING**  
 888 CHURCH STREET  
 BOHEMIA, NEW YORK 11716  
 TOWN OF ISLIP, COUNTY OF SUFFOLK  
 DIST.: 500, SECT.: 212, BLOCK: 3, LOT: 36  
 GENERAL SERVICE T DISTRICT

DRAWING TITLE: **SITE PLAN**

SP NO. 2025-036

DATE: 06/03/2025

SCALE: 1" = 20'

PROJECT NUMBER: 25098

DRAWING BY: MM

CHECKED BY: JP

APPROVED BY: JP

SEAL & SIGNATURE:  
  
**JACYLN PERANTEAU, P.E.**  
 LICENSED PROFESSIONAL ENGINEER

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DRAWING NO.: **C-1**