

TOWN OF ISLIP NOTES:

- CONTACT THE ENGINEERING INSPECTOR (631-224-5360) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE TOWN ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
- COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
- OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5610)
- CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCRoACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
- PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY LEGAL ACTION OF THE ABOVE WITHOUT APPROVAL IS PROHIBITED AND SUBJECT TO LEGAL ACTION.
- CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
- ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SERVICES WHEN PERMANENT, IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
- ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDOC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
- LOAD TICKETS REQUIRED FOR ALL FILL MATERIALS BROUGHT ON SITE, IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 208 OR ITEM 208S.
- ALL CONSTRUCTION & DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSPORTED TO AN APPROVED NYSDOC FACILITY. LOAD/TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
- THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P. 5 SHALL BE FOLLOWED.
- APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL PAGES 5A.75 AND 5A.76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/ OWNER SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES UNITS ARE BEING ACCESS FOR LOADING OR UNLOADING OF DUMPSTERS.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
- PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.

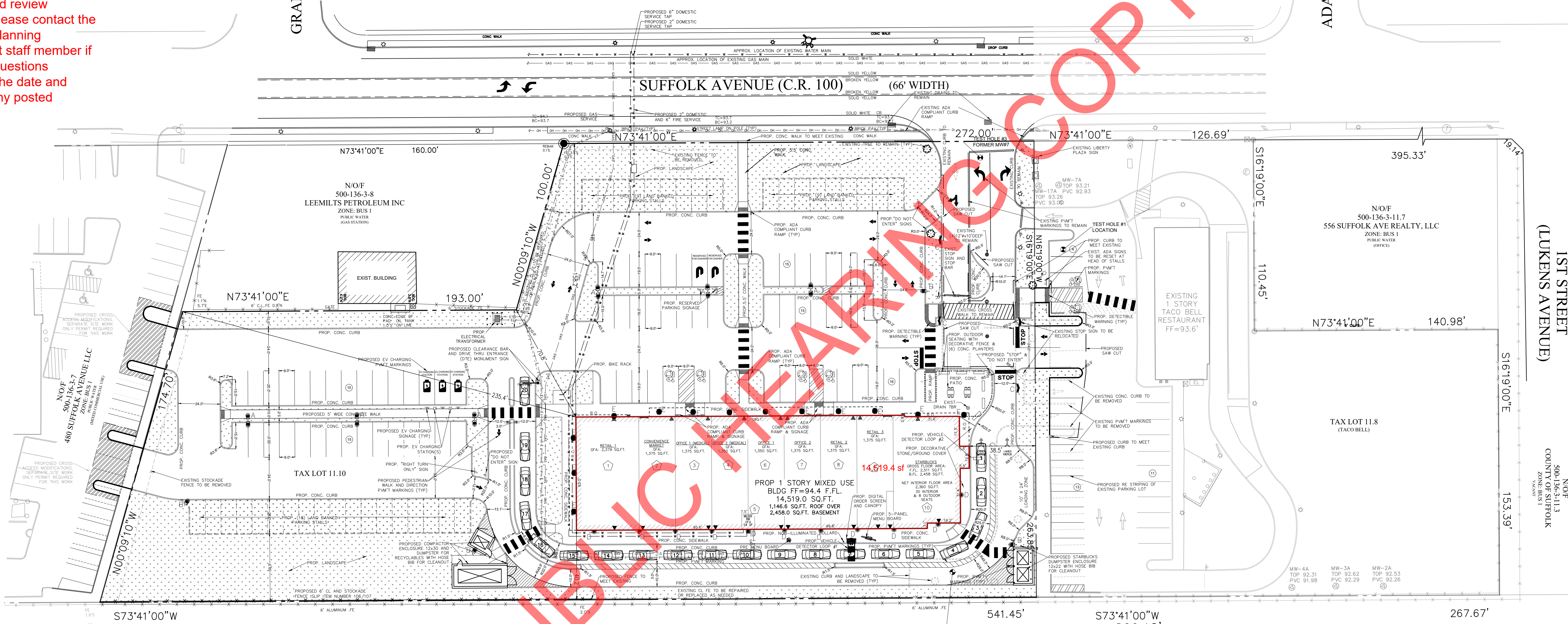
GENERAL NOTES:

- ALL LANDSCAPED AREAS WITHIN AREA OF WORK TO HAVE UNDERGROUND SPRINKLER SYSTEM IN ACCORDANCE WITH TOWN SPECIFICATIONS. (GENERAL CONTRACTOR) - G.C. TO PROVIDE SPRINKLER DESIGN FOR REVIEW AND APPROVAL.
- ALL CONSTRUCTION SHOULD CONFORM TO THE REQUIREMENTS OF THE STATE UNIFORM FIRE PREVENTION & BUILDING CODE.
- ALL FEES AND PERMITS REQUIRED SHALL BE THE SOLE RESPONSIBILITY OF THE APPROPRIATE CONTRACTORS RESPECTIVELY (I.E. GENERAL CONTRACTOR, ELECTRICAL CONTRACTOR, PLUMBING CONTRACTOR, ETC.)
- ALL DOWNSPOUTS TO CONNECT TO UNDERGROUND DRYWELL. SYSTEM CONTRACTOR TO VERIFY LOCATIONS OF ALL DOWNSPOUTS AND DRYWELLS IN FIELD.
- HOURS OF CONSTRUCTION TO BE FOLLOWED AS PER THE TOWN SPECIFICATIONS.
- GENERAL CONTRACTOR TO PROVIDE SURVEYING SERVICES FOR ALL NEW WORK INCLUSIVE OF ALL LOCATIONS AND ELEVATIONS.
- CONTRACTOR MUST COMPLY WITH APPROVED WORKING DRAWING AND REQUIREMENT SHEETS. NO DEVIATION PERMITTED EXCEPT BY WRITTEN APPROVAL OF THE TOWN PLANNING BOARD.
- ALL ENGINEERING WORK TO BE PERFORMED TO THE LATEST PLANNING BOARD SPECIFICATIONS AND REQUIREMENTS.
- ALL DRAINAGE STRUCTURES AND PIPE SHALL BE CLEANED OF SILT AND DEBRIS AFTER CONSTRUCTION IS COMPLETE.
- ALL CONCRETE MATERIALS TO BE A MINIMUM OF 4000 P.S.I. AT 28 DAYS STRENGTH.
- UNDERGROUND, OVERHEAD AND GROUND LEVEL UTILITIES ARE NOT GUARANTEED AS TO ACCURACY, EXACT LOCATION, TYPE OR USE. ACTIVE OR INACTIVE. VERIFICATION IS MANDATORY WITH MUNICIPAL AGENCIES AND/OR PUBLIC OR PRIVATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO PROVIDE A SILT FENCE AT PERIMETER OF CONSTRUCTION AREAS. CONTRACTOR IS RESPONSIBLE TO INSURE THAT PERIMETER IS CONTAINED AT ALL TIMES.
- FRONT YARD IMPROVEMENTS TO PARCEL A TO BE COMPLETED PRIOR TO THE ISSUANCE OF A C/O FOR PARCEL B.

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

GRANT AVE.

ADAMS AVE.



LABCREW ENGINEERING, P.C.
 SITE DESIGN/PLANNERS/CIVIL ENGINEERING
 460 HANWICK AVENUE
 ROCKY HONKONA, NEW YORK 11770
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 LABCREW@OPTONLINE.NET



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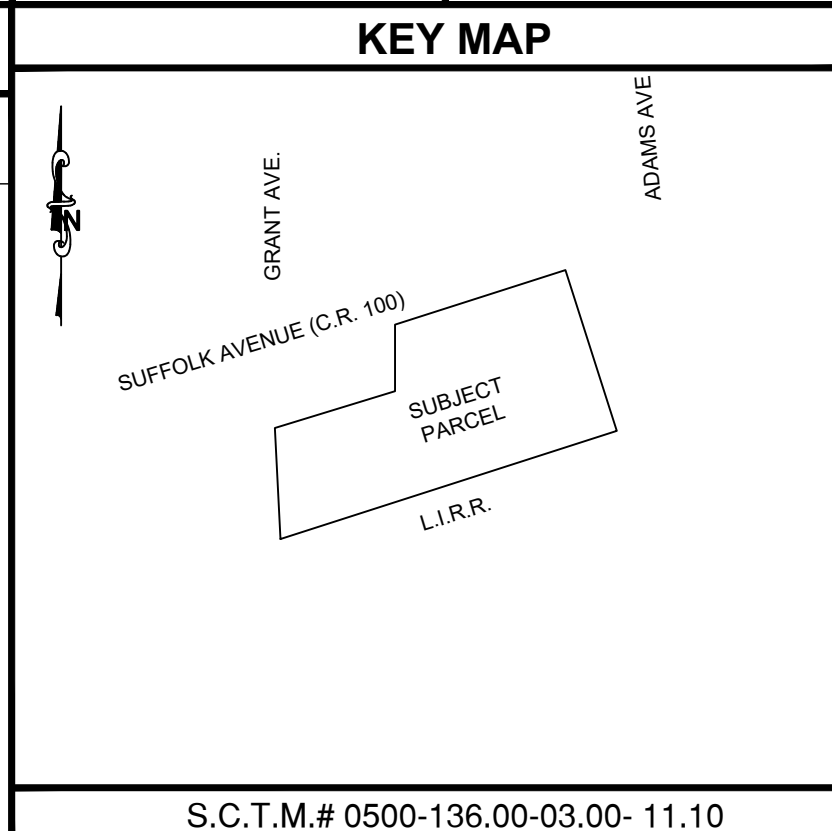
500 SUFFOLK AVENUE, LLC
 PROPOSED STARBUCKS
 500 SUFFOLK AVE
 BRENTWOOD, NY 11717

ALIGNMENT PLAN

NO.	DATE	REVISION
1.	11/16/23	SINGLE LANE DRIVE THRU
2.	7/10/24	PLANNING BOARD COMMENTS
3.	10/14/24	SCDS COMMENTS
4.	12/16/24	ADDED BASEMENT
5.	2/25/25	ISLIP INTAKE COMMENTS

SURVEY PREPARED BY:
 RUSSELL H. LEWIS CO.
 UPDATED 09/14/2023
 57 CONKLN AVE.
 WHEATLEY HEIGHTS, NY 11798
 (516)-474-3665

OWNER/APPLICANT:
 500 Suffolk Avenue, LLC
 45 Cuthbert Rd Ste 11,
 Great Neck, NY 11021
 (516)-487-9516



SITE CRITERIA

SYMBOL KEY		SPECIAL LINES	
	- CATCH BASIN		- OVERHEAD WIRES
	- GAS VALVE		- TELEPHONE LINE
	- WATER VALVE		- WATER MAIN
	- MANHOLE COVER		- UNDERGROUND ELECTRIC
	- DRAINAGE MANHOLE COVER		- GAS LINE
	- SEWER MANHOLE COVER		- EXIST. CHAIN LINK FENCE
	- LIGHT POST		- FENCE TO BE REMOVED
	- MONUMENT		- PROP. CHAIN LINK FENCE
	- STAKE		- SILT FENCE
	- PIPE		
	- DRILL HOLE		
	- HYDRANT		
	- METER		
	- BOLLARD		
	- PROP. PAVEMENT ELEV.		
	- EXISTING ELEVATION		
	- UTILITY POLE		
	- GUY WIRE		
	- WETLANDS		
	- SIGN		
	- RECT. DROP INLET		
	- DROP INLET		
	- ELECTRIC BOX		
	- CABLE BOX		
	- TELEPHONE BOX		
	- TRAFFIC SIGNAL BOX		
	- FLAG POLE		
	- WETLANDS FLAG		
	- HANDICAPPED PARKING		
	- DOOR LOCATION		
	- MONITORING WELL		

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SITE DATA:	
SITE AREA	2,622 ACRES 114,238.04 SQ.FT.
EXISTING BUILDINGS AREA	0 SQ.FT.
PROPOSED BUILDING AREA	15,665.6 SQ.FT.
G.F.A.	18,123.6 SQ.FT.
PROP. F.A.R.	13.7 %
PARKING PROVIDED	108 STALLS
PARKING PROVIDED WITH (36) STALLS LAND BANKED	112 STALLS
DATUM	NAVD 88
ZONE	BUSINESS 1 RE-ZONED TO BUSINESS 3
USE	RESTAURANT, RETAIL, CONVENIENCE MARKET & OFFICE

BUSINESS 3 - ZONING REQUIREMENTS:			
SETBACK	PROPOSED	REQUIRED	
LOT AREA	114,238.04	45,000	SQ.FT.
FRONT YARD SETBACK	158.2	25	FEET
MIN. SIDE YARD SETBACK	38.5	10	FEET
TOTAL SIDE YARD SETBACK	109.3	N/A	FEET
REAR YARD SETBACK	40.2	35	FEET
MIN. WIDTH OF LOT	272.0	100	FEET
BUILDING HEIGHT	< 35.0	35 MAX	FEET
MAX F.A.R.	13.7	25	%

PARKING CALCULATIONS:		
PROPOSED RESTAURANT: 2,511 SQ.FT. / 1 STALL / 100 SF	26	STALLS
PROPOSED RETAIL: 5,129 SQ. FT. / 150	35	STALLS
PROPOSED CONVENIENCE MARKET: 1,375 SQ. FT. / 100	14	STALLS
PROPOSED OFFICE: 2,725 SQ. FT. / 200	14	STALLS
PROPOSED MEDICAL OFFICE: 2,725 SQ. FT. / 150	19	STALLS
PARKING PROVIDED	108	STALLS
PROVIDED PARKING	76	STALLS
LAND BANKED PARKING	36	STALLS
TOTAL PARKING PROVIDED W/ LAND BANKED	112	STALLS

TOWN OF ISLIP SPECIAL PERMIT & VARIANCES:		
THE FOLLOWING VARIANCES ARE REQUESTED FROM THE TOWN ISLIP TOWN BOARD, PLANNING BOARD AND ZONING BOARD:		
SPECIAL PERMITS:		
68-423.1 - RESTAURANT, FAST-FOOD		
68-423.1(D) - CONVENIENCE MARKET		
VARIANCE(S):		
SILDR: FRONT YARD LANDSCAPING (11,423.8 REQ. 4,697.6 PROV.)		
68-423.2 (A)(3) - A FAST FOOD RESTAURANT SHALL BE REQUIRED TO LOCATE AT A SIGNALIZED INTERSECTION, ON A ONE-WAY STREET, OR A STREET WITH A DEDICATED LEFT TURN LANE INTO THE SITE, AND LIMITED ACCESS HIGHWAY SERVICE ROADS.		
68-423.3 (A)(2) - A TRAFFIC MANAGEMENT PLAN DETAILING MEASURES THE RESTAURANT OPERATOR WILL IMPLEMENT IN THE EVENT THE DRIVE-THROUGH QUEUE CANNOT ACCOMMODATE THE NUMBER OF CARS ATTEMPTING TO USE THE DRIVE-THROUGH AND MATERIALLY INTERFERE WITH ON-SITE VEHICULAR AND PEDESTRIAN CIRCULATION. SAID MANAGEMENT PLAN MAY SHALL INCLUDE, BUT NOT LIMITED TO, THE PROVISION OF AN ADDITIONAL TEMPORARY LANE FOR THE DRIVE-THROUGH, THE HIRING OF PRIVATE SECURITY TO DIRECT TRAFFIC AWAY FROM THE DRIVE-THROUGH AND THE PROVISION FOR A DESIGNATED CURBSIDE PICKUP AREA.		

REQUIRED LANDSCAPING:		
MIN NATURAL AREA/ LANDSCAPE 20% OF SITE	22,847.6	26,572.43 SQ.FT.
FRONT YARD LANDSCAPE 10% OF SITE	11,423.8	4,697.6 SQ.FT.

PROJECT NO. 23-111
 DRAWN BY TP
 CHECKED CL
 DATE SEPTEMBER 2023
 SCALE 1"= 30'
 SHEET NO. **AL-1**
 SHEET NO. 1 OF 8
 SP2024-067

S.C.T.M.# 0500-136.00-03.00- 11.10