

**EXISTING VEGETATED AREA CLEARING:**  
 (~4,650 S.F.)

- AREA OF VEGETATION REMOVAL PRIMARILY CONSISTS OF INVASIVE SPECIES PER ENVIRONMENTAL REPORT FROM "SURFSIDE ENVIRONMENTAL" SITE VISIT FIELD NOTES RECORDED ON 11/22/24.
- NO TREES ARE PRESENT IN THE CLEARED AREAS.
- 50' COVENANT BUFFER AREA TO BE REMOVED.
- AREA OF APPROVED 50' VEGETATED BUFFER TO BE REMOVED.
- AREA OF VEGETATED BUFFER AREA (~10,708 S.F.)

**ORIGINAL APPROVED VEGETATED BUFFER COVENANT AREA:**  
 (~11,484 S.F.)

**PROPOSED VEGETATED REPLANTING AREA:**  
 (~2,484 S.F.)

**TOWN OF ISLIP ZONING ANALYSIS**

TOWN OF ISLIP  
 ZONE: RESIDENCE 'AA'  
 FLOOD ZONE: AE-5

ISSUE	REQUIRED / PERMITTED	EXISTING	PROPOSED
MIN. LOT AREA	20,000 SQ. FT.	62,436.8 SQ. FT. (NO CHANGE)	62,436.8 SQ. FT. (NO CHANGE)
MIN. LOT WIDTH	100.0 FT.	135.0 FT. (AT FRONT YARD SETBACK)	135.0 FT. (AT FRONT YARD SETBACK)
MIN. FRONT YARD	40.0 FT.	196.5 FT.	162.4 FT.
MIN. SIDE YARD AGG.	36.0 FT.	68.0 FT.	65.1 FT.
MIN. SIDE YARD	18.0 FT.	33.9 FT.	31.0 FT.
MIN. REAR YARD	25.0 FT.	117.8 FT. (TO HOUSE) 121.2 FT. (TO DECK)	117.8 FT. (TO HOUSE) 119.0 FT. (TO DECK)
MAX. HEIGHT	35.0 FT. (2.5 STORY)	33.5 FT.	33.5'
MAX. GROSS FLOOR AREA	25% OF LOT = 15,609.2 S.F.	EX. DWELLING 4,392.10 S.F. EX. 2ND FLR. COV. PORCH 58.50 S.F. EX. GARAGE 574.75 S.F. EX. FRONT COV. PORCH 58.50 S.F. EX. SIDE COV. PORCH 64.20 S.F. EX. 3.0' O.H. @ GARAGE 224.80 S.F. TOTAL 8.61% = 5,372.85 S.F.	EX. DWELLING 4,392.10 S.F. EX. 2ND FLR. BALCONY 58.50 S.F. EX. GARAGE 532.90 S.F. EX. FRONT COV. PORCH 58.50 S.F. PROP. ADD. 1ST FLR. 1,268.74 S.F. PROP. ADD. 2ND FLR. 881.01 S.F. SIDE COV. PORCH 28.80 S.F. REAR BALCONY ADD. 39.60 S.F. CABANA 561.86 S.F. TOTAL 12.53% = 7,822.01 S.F.
MAX. FRONT YARD OCCUPANCY	40% OF FRONT YARD	26.71% = 9,371.2 S.F. (FRONT YD. AREA = 35,088.22 S.F.)	30.17% = 8,856.3 S.F. (FRONT YD. AREA = 29,358.63 S.F.)
MIN. OPEN REAR YARD	40% OF REAR YARD	87.81% = 16,880.1 S.F. (REAR YD. AREA = 19,224.82 S.F.)	83.93% = 16,314.85 S.F. (REAR YD. AREA = 19,224.82 S.F.)
<b>ACCESSORY STRUCTURES</b>			
MAX. LOT COV.	10% OF LOT = 6,243.6 S.F. 25% OF REAR = 6,243.6 S.F.	N/A	CABANA 561.86 S.F.
MIN. FRONT YARD	0' TO 6' HIGH = 4 FT. BACK > 6' HIGH = 20 FT. BACK	N/A	N/A
MIN. SIDE YARD	0 TO 144 SQ. FT. = 2 FT.	N/A	N/A
MIN. SIDE YARD	144 TO 500 SQ. FT. = 4 FT.	N/A	N/A
MIN. SIDE YARD	> 500 SQ. FT. = 10 FT.	N/A	33.9 FT. (TO CABANA)
MIN. REAR YARD	0 TO 144 SQ. FT. = 2 FT.	N/A	N/A
MIN. REAR YARD	144 TO 500 SQ. FT. = 4 FT.	N/A	N/A
MIN. REAR YARD	> 500 SQ. FT. = 10 FT.	N/A	89.3 FT. (TO CABANA)
MAX. HEIGHT	14.0 FT. (1 STORY)	N/A	14.0 FT. (CABANA)

**D.E.C. NON-JURISDICTION:**  
 NYS DEC HAS CLAIMED NON-JURISDICTION FOR ALL PROPERTY LANDWARD OF THE BULKHEAD LINE PER THE LETTER DATED: AUGUST 25, 2025

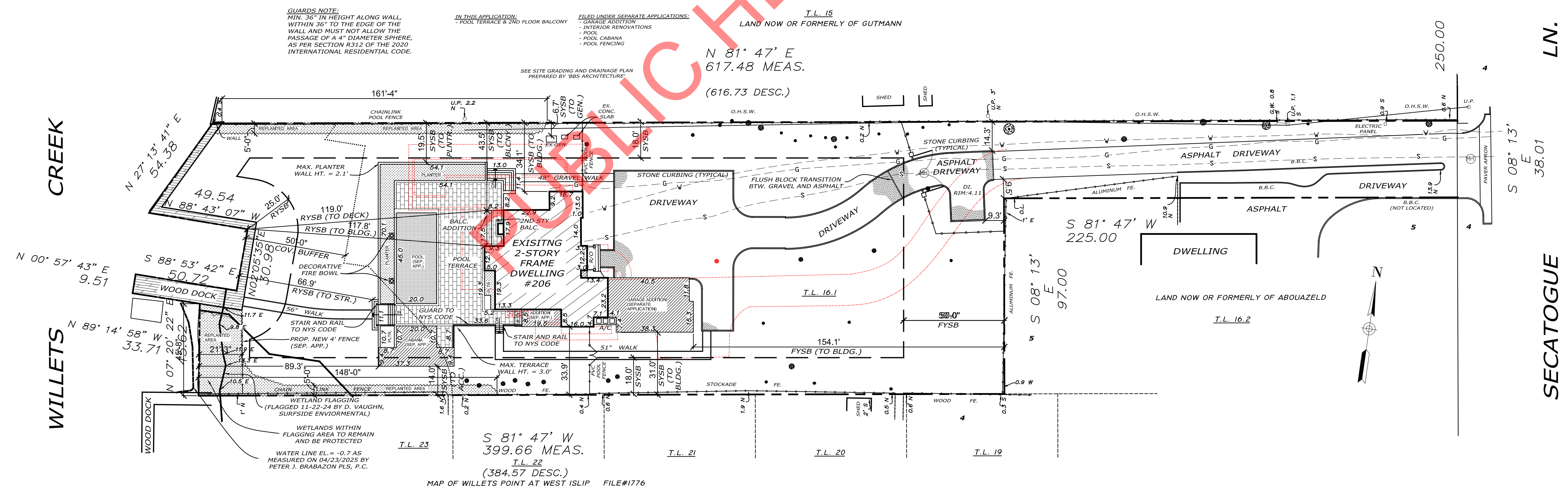
**TOTAL EX. COVERAGE CALCULATIONS:**

EX. DWELLING FOOTPRINT:	2,089.70 S.F.
EX. GARAGE FOOTPRINT:	532.90 S.F.
EX. FRONT COVERED PORCH:	83.33 S.F.
EX. SIDE COVERED PORCH:	93.26 S.F.
EX. GENERATOR:	15.74 S.F.
EX. POOL:	908.66 S.F.
EX. POOL PATIO:	622.20 S.F.
EX. WALKS (FRONT & SIDE):	356.13 S.F.
EX. REAR DECK:	539.76 S.F.
EX. DRIVEWAY:	2,951.86 S.F.
<b>TOTAL:</b>	<b>8,193.54 S.F. (19.22%)</b>
	<b>[330.60 S.F. UNDER]</b>

**TOTAL PROP. COVERAGE CALCULATIONS:**

EX. DWELLING FOOTPRINT:	2,135.18 S.F.
EX. GARAGE FOOTPRINT:	528.29 S.F.
EX. FRONT COVERED PORCH:	83.33 S.F.
EX. REAR BALCONY:	90.91 S.F.
EX. GENERATOR:	77.19 S.F.
POOL EQUIPMENT:	15.74 S.F.
PROP. DWELLING ADDITIONS:	1,268.74 S.F.
PROP. CABANA:	561.86 S.F.
PROP. REAR PATIO & STAIRS:	2,743.40 S.F.
PROP. SWIMMING POOL:	1,056.04 S.F.
PROP. SIDE COV. PORCH:	39.60 S.F.
PROP. A/C PLATFORM:	41.10 S.F.
<b>TOTAL:</b>	<b>8,641.38 S.F.</b>

INFORMATION TAKEN FROM SURVEY PREPARED BY:  
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 PREPARED ON 05/15/2025  
 SURVEY DATUM: NVAD '88



**Site Plan**  
 SCALE: 1" = 30'-0"

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



6334 Northern Boulevard  
 East Norwich, New York 11732

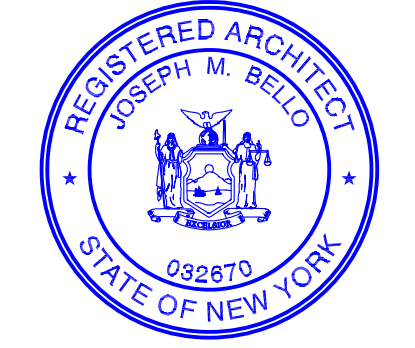
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**DATE ISSUED:**  
 04/14/25 - DEC Filing  
 09/16/25 - Bldg. Dept. Initial Filing  
 10/07/25 - Design Update  
 11/12/25 revised / comments 11/3/25  
 11/17/25 revised / email 11/14/25  
 01/07/26 - Planning Board Submittal

**PRIVATE RESIDENCE**  
 206 Secatogue Lane  
 West Islip, NY

When a registered design professional has stamped and signed this page (blue ink), they are attesting that to the best of his/her knowledge, belief, and professional judgement, such plans and/or specifications are in compliance with the latest New York State Building Code.

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Registered thru 02/26/2026  
**FILE:** 24223  
**SCALE:** AS NOTED  
**DRAWN BY:** BMC  
**SHEET:** PB-1