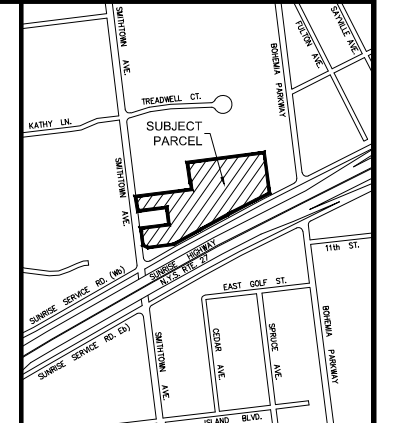


- TOWN OF ISLIP - STANDARD NOTES:**
- CONTACT THE ENGINEERING INSPECTOR (631-224-5300) AT LEAST 48 HOURS PRIOR TO START OF ANY WORK. WORK PERFORMED WITHOUT INSPECTION SHALL BE CERTIFIED TO THE ENGINEER'S SATISFACTION AT APPLICANT'S EXPENSE.
  - COORDINATE AND COMPLETE ALL UTILITY RELOCATIONS. ALL UTILITIES SHALL BE INSTALLED BELOW GRADE.
  - OBTAIN A TOWN RIGHT-OF-WAY WORK PERMIT PRIOR TO CONSTRUCTION WITHIN THE TOWN RIGHT-OF-WAY (631-224-5810).
  - CLEARING LIMIT LINES SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR, AND EITHER SNOW FENCING OR CONSTRUCTION FENCING SHALL BE ERECTED TO PROTECT AREAS FROM DISTURBANCE OR ENCROACHMENT PRIOR TO THE START OF ANY ACTIVITIES ON SITE. FENCING SHALL NOT BE REMOVED PRIOR TO COMPLETION OF FINAL SITE GRADING OPERATIONS.
  - PLACEMENT OF FILL, INSTALLATION OF RETAINING WALLS, DUMPING OF MATERIAL, EXCAVATION, MINING, OR SIMILAR DISTURBANCE OF LAND REQUIRES AN APPROVED SITE PLAN. COMMENCEMENT OF ANY ACTION OF THE ABOVE WITHOUT APPROVAL AS PROVIDED IS SUBJECT TO LEGAL ACTION.
  - CONTRACTOR SHALL CONTACT THE FIRE MARSHAL'S OFFICE (631-224-5477) PRIOR TO INSTALLATION OF ANY FIRE SERVICE WATER LINES TO PROVIDE FOR PROPER INSPECTION COORDINATION.
  - ALL EXISTING OR PROPOSED SUBSURFACE ELECTRIC, TELEPHONE OR CABLE SERVICES SHALL BE INSTALLED IN APPROPRIATE CONDUIT SLEEVES WHEN PERMANENT. IMPROVED SURFACES ARE PROPOSED OVER THE ROUTING PATH.
  - ALL RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE (RCA) AND FILL MATERIALS ARE TO BE FROM AN APPROVED SOURCE. RECYCLED PORTLAND CEMENT CONCRETE AGGREGATE IS TO BE CERTIFIED. DOCUMENTATION IS TO BE PROVIDED SHOWING THAT THE MATERIAL OBTAINED IS FROM A NYSDC REGISTERED OR PERMITTED CONSTRUCTION AND DEMOLITION (C&D) DEBRIS PROCESSING FACILITY AS SPECIFIED IN SECTION 360-16.1 OF NYCRR PART 360, "SOLID WASTE MANAGEMENT FACILITIES".
  - LOAD TICKETS REQUIRED FOR ALL MATERIALS BROUGHT ON SITE. IDENTIFYING THE SOURCE AND QUANTITY OF MATERIALS. ALL FILL TO SATISFY THE REQUIREMENTS OF ISLIP ITEM 28F OR ITEM 28B.
  - ALL CONSTRUCTION & DEMOLITION MATERIAL EXPORTED FROM THE SUBJECT PARCEL SHALL BE TRANSPORTED TO AN APPROVED NYSDC FACILITY. LOAD/TITLE TRANSFER TICKETS TO BE RETAINED AND COPIES PROVIDED TO THE TOWN OF ISLIP ENGINEERING INSPECTOR FOR THE RECORD.
  - THE TOWN OF ISLIP SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, SECTION P 8 SHALL BE FOLLOWED.
  - APPLICATIONS REQUIRING THE PROVISION OF A STABILIZED CONSTRUCTION ENTRANCE SHALL FOLLOW THE CONSTRUCTION SPECIFICATIONS AS STATED WITHIN THE NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGES 5A.75 AND 6A.76. CONSTRUCTION AND DEMOLITION DEBRIS MATERIALS SHALL NOT BE CONSIDERED FOR USE WITH STABILIZED CONSTRUCTION ENTRANCE INSTALLATIONS.
  - REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OFFER ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FLAMES. APPLICANT/OWNER SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES WHEN BEING USED FOR LOADING OR UNLOADING OF DUMPSTERS.
  - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE DEDICATION(S) TO THE TOWN OF ISLIP MUST BE RECORDED WITH THE SUFFOLK COUNTY CLERK.
  - PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE LIGHTING CONTRACTOR OR ELECTRICIAN SHALL PROVIDE AN UNDERWRITER'S LABORATORY CERTIFICATE AND LETTER STATING THE LIGHTS HAVE BEEN ENERGIZED.



**Vicinity Map:**  
Scale: 1"=600'±

REVISIONS :		
NO.	DATE	COMMENT
1		

IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW TO ALTER THESE DRAWINGS, PLANS OR REPORTS IN ANY WAY, UNLESS DONE BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER OR LAND SURVEYOR. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED IN ANY WAY, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS/HER SEAL, AND THE NOTATION "ALTERED BY:" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

**PROPERTY OWNER:**  
**JOSEPH CATALANOTTO**  
4825 Sunrise Highway  
Bohemia, NY 11716  
(516) 551-0737

**APPLICANT :**  
**JOSEPH CATALANOTTO**  
4825 Sunrise Highway  
Bohemia, NY 11716  
(516) 551-0737

**PROJECT NAME:**  
ADDITIONS & ALTERATIONS  
GENERATION AUTO DEALERS  
4825 Sunrise Highway, Bohemia NY

**SHEET TITLE:**  
ZONE CHANGE  
CONCEPTUAL SITE PLAN

Town of Islip Ref.: SP 2018-009R1

**Vollmuth & Brush**  
Environmental Engineering & Land Surveying  
200 Blue Point Avenue,  
Blue Point, New York 11715  
L: (631) 363-2683 FAX: (631) 363-2682  
© est. 1988 N.Y.C. (212) 775-0988 Website: www.vollmuth.com

Project No.: 21047 N.Y.S. LIC. NO. 62230  
Date: 1/08/26  
Scale: 1" = 40'  
Drawn by: JCF  
Datum:  
CAD ID: 21047\_ZONE\_SP6 JEFFREY VOLLMUTH, P.E.  
TAX MAP ID: 0500-256-02-101, 11.6, & 15.1  
SHEET NUMBER: ZC-100

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

**DETAILED PARKING COMPUTATIONS INCLUDING PROPOSED ZONE CHANGE PROPERTY**

Use Town of Islip Requirements (Refer to previously approved plan STZ Zoning Plan for Area Calculations)

RETAIL UNATTACHED: 1 per 150 sq.ft.	1 per 150 sq.ft.	7,312 sq.ft.	48.7 spaces
Showerroom:	1 per 150 sq.ft.	1,989 sq.ft.	13.3 spaces
Customer Reception	1 per 150 sq.ft.	1,989 sq.ft.	13.3 spaces
<b>Total Retail Parking Required</b>			<b>62 spaces</b>
<b>REPAIR GARAGE: 1 per 200 sq.ft. (Plus 5 additional spaces)</b>			
Service Area	1 per 200 sq.ft.	6,303 sq.ft.	31.5 spaces
Body Shop	1 per 200 sq.ft.	18,458 sq.ft.	92.3 spaces
<b>Total Repair Garage Parking Required</b>			<b>129 spaces (includes 5 additional)</b>
<b>OFFICE: 1 per 200 sq.ft.</b>			
Office	1 per 200 sq.ft.	8,825 sq.ft.	44.1 spaces
<b>Total Office Parking Required</b>			<b>45 spaces</b>
<b>WHAREHOUSE: 1 per 600 sq.ft. (15% as office)</b>			
Parts Warehouse	1 per 600 sq.ft.	5,575 sq.ft.	7.9 spaces
Parts Office	1 per 200 sq.ft.	5,575 sq.ft.	4.2 spaces
Mech Storage Warehouse	1 per 600 sq.ft.	842 sq.ft.	1.2 spaces
Mech Storage Office	1 per 200 sq.ft.	842 sq.ft.	0.6 spaces
<b>Total Warehouse Parking Required</b>			<b>14 spaces</b>
<b>Total Warehouse Parking Required Based on Use:</b>	<b>250 spaces</b>	(see calculations above)	
Parking Spaces Provided:	265 spaces	(existing approved Site Plan, SP2018-009R1, 2/7/25)	
Display Spaces Provided:	69 spaces	(existing approved Site Plan, SP2018-009R1, 2/7/25)	
<b>Total Proposed Spaces Provided:</b>	<b>334 spaces</b>	(existing approved Site Plan, SP2018-009R1, 2/7/25)	
<b>Prior to the addition of the additional Change of Zone Lot</b>	<b>334 spaces</b>	available overall on the site plan per existing approved Site Plan, SP2018-009R1, 2/7/25)	
<b>Proposed Parking Plan after additional of property</b>	<b>546 spaces</b>		
<b>Total increase in number of parking spaces provided</b>	<b>212 spaces</b>		

The additional spaces will be utilized by the owner to accommodate new and used car inventory. \* This proposed Site Plan Modifications increases the Parking Space Count. No new buildings are proposed.

**SITE DATA TABLE**

Zoning	Existing Approved Site Plan B3	Proposed Zone Change Addition	Proposed Condition
Total Property Area	276,411 sq.ft. 6.35 acres	81,003 sq.ft.	357,414 sq.ft. 8.21 acres
Total Building Coverage	41,644 sq.ft. 15%	0	41,644 sq.ft. 12%
Total Building GFA	49,304 sq.ft. 18% FAR	0	49,304 sq.ft. 14% FAR
Total Landscape Required	250 spaces	0	250 spaces
Total Parking Spaces Provided	265 spaces	212 spaces	477 spaces
Car Display Spaces	69 spaces	0	69 spaces
Total Parking Spaces Including Display Provided	334 spaces	0	334 spaces
Total Pavement/Concrete Area	158,993 sq.ft.	64,034 sq.ft.	223,027 sq.ft.
Total Landscape Required	55,282 sq.ft. 20%	0	55,282 sq.ft. 20%
Total Landscape/Natural Area	75,834 sq.ft. 27%	18,176 sq.ft.	94,010 sq.ft. 26%
Total Front Yard Landscape Required	5,528 sq.ft. 10% of Total	0	5,528 sq.ft. 10% of Total
Total Front Yard Landscape Provided	20,029 sq.ft.	128 sq.ft.	20,157 sq.ft.

\*Additional spaces created by addition of property 212 spaces will accommodate new/used car inventory on site and increase available parking for employees

