

**GENERAL NOTES:**

- BOUNDARY INFORMATION IS BASED ON A SURVEY TITLED "PLAN OF OUTBOUND AND TOPOGRAPHIC, 269 EAST MAIN STREET, SECTION 347, BLOCK 3, TAX LOT 50.17, TOWNSHIP OF EAST ISLIP, COUNTY OF SUFFOLK, STATE OF NEW YORK" BY CONTROL POINT ASSOCIATES INC., DATED OCTOBER 10, 2016.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DOOR LOCATIONS.
- NO SOIL TESTING HAS BEEN PERFORMED ON THIS PROJECT BY THE DESIGN ENGINEER. IT SHALL BE THE OWNER AND/OR CONTRACTOR'S RESPONSIBILITY TO CONDUCT SOIL TESTING TO CONFIRM APPLICABILITY OF PROPOSED IMPROVEMENTS AND CONSTRUCTION TECHNIQUES WITH RESPECT TO SUBSURFACE SOIL AND GROUNDWATER CONDITION.
- ALL CONSTRUCTION IS TO BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL CODES.
- THESE PLANS DEPICT THE SITE WORK IMPROVEMENTS FOR THIS PROJECT. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS, TECHNIQUES, SEQUENCE OF CONSTRUCTION AND JOB SITE SAFETY. AS SUCH, THESE PLANS ARE NOT INTENDED TO REPRESENT SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH INSPECTION OF THE SITE IN ORDER TO REVEAL EXISTING CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO BIDDING, ORDERING MATERIALS, AND COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
- THE CONTRACTOR SHALL PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFIS) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITE WORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE WORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
- INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.
- THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO ADDITIONAL PLANS, DETAILS AND SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
- THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS IS NECESSARY TO AVOID DAMAGE THERETO, TO PROVIDE FOR THE PROPOSED USE.
- ALL UTILITIES TO BE INSTALLED UNDERGROUND IN ACCORDANCE WITH UTILITY COMPANY STANDARDS UNLESS OTHERWISE DIRECTED BY THE UTILITY COMPANY.

- ALL PARKING LOT STRIPING, PARKING REGULATION SIGNS, TRAFFIC REGULATION SIGNS, AND PAVEMENT MARKINGS SHALL CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL IMPROVEMENTS PROPOSED IN THIS DEVELOPMENT PROJECT WILL BE COMPLETED IN ONE PHASE.
- THE CONTRACTOR IS RESPONSIBLE TO CONTACT NEW YORK-811 NOT LESS THAN 3 BUSINESS DAYS AND NOT MORE THAN 10 BUSINESS DAYS PRIOR TO THE BEGINNING OF ANY EXCAVATION OR DEMOLITION. NEW YORK-811 INFORMATION - PHONE: 1-800-962-7962, WEB: WWW.NEYORK-811.COM
- THE LOCATIONS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE BASED ON DESIGN DRAWINGS, NOT AS-BUILTS. THE CONTRACTOR MUST VERIFY THE EXACT LOCATIONS OF ALL EXISTING UTILITIES INCLUDING THOSE THAT ARE CUSTOMER OWNED. CONTRACTOR MUST NOTIFY ALL UTILITY COMPANIES BEFORE CONSTRUCTION COMMENCES.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND JOB SITE SAFETY.
- THE CONTRACTOR MUST NOTIFY THE DESIGN ENGINEER OF ANY CONDITION OF CONFLICTS THAT WILL ALTER THE INTENT OF THE DESIGN HEREIN.
- CONTRACTOR IS REQUIRED TO REMOVE ALL UNSUITABLE MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS.
- ALL PROPOSED IMPROVEMENTS TO BE IN ACCORDANCE WITH CURRENT ADA AND NY BARRIER FREE CODE REQUIREMENTS.
- ELEVATIONS PROVIDED ARE IN TOWN DATUM, NAVD88.

**LANDSCAPE AREA CALCULATIONS**

	TOTAL LOT AREA	TOTAL LANDSCAPE REQUIRED - 20% LOT AREA	TOTAL LANDSCAPE PROVIDED	% OF LOT AREA	FRONT YARD LANDSCAPE REQUIRED - 50% OF TOTAL	FRONT YARD LANDSCAPE PROVIDED	% OF TOTAL LANDSCAPE AREA
EXISTING CONDITIONS	52,116 S.F.	10,423 S.F.	9,932 S.F.	19.1% (ENC)	5,211 S.F.	4,004 S.F.	38.4% (ENC)
PROPOSED CONDITIONS	52,116 S.F.	10,423 S.F.	10,679 S.F.	20.5% (C)	5,211 S.F.	4,751 S.F.	45.6% (NC)

ENC = EXISTING UNPERMITTED  
 NC = NONCONFORMING  
 C = CONFORMING

PROPERTY LINE	LEGEND	
	EXISTING	PROPOSED
BUILDING LINE		
BUILDING CANOPY		
CURB LINE		
DEPRESSED CURB	N/A	
CONCRETE WALK		
SIGN		
FENCE		

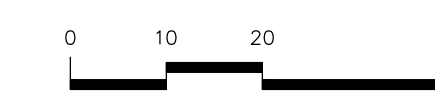


CUSTOM PARKING SIGN DETAIL

SIGN LEGEND AND DETAILS			
SYMBOL	QUAN.	USDOT FHA DESIGNATION	SIGN DETAIL
	2	R7-8	
	2	R7-8p	
	1	R7-8B	
	1	K-2331	

**SIGN NOTES:**

- ALL SIGNS SHALL CONFORM TO THE MANUAL ON TRAFFIC CONTROL DEVICES.
- SIGNS, SIGN POSTS AND THEIR FOUNDATIONS AND SIGN MOUNTING SHALL BE SO CONSTRUCTED AS TO HOLD SIGNS IN A PROPER AND PERMANENT POSITION, TO RESIST SWAYING IN THE WIND OR DISPLACEMENT BY VANDALISM.
- REFER TO MOUNTING DETAILS FOR HEIGHTS. ALL SIGNS SHALL BE MEASURED FROM PAVEMENT OR GROUND TO BOTTOM OF SIGN.



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Architecture  
 Engineering  
 Interior Design  
 Implementation Services

ISSUE			
NO.	DATE	DESCRIPTION	INT.
1	10.14.19	FOR MUNICIPAL REVIEW	LB
2	6.3.2020	FOR MUNICIPAL REVIEW	GPG
3	06.25.20	TOWNSHIP RESUBMISSION	APP
4	09.22.20	TOWNSHIP RESUBMISSION	GPG
5	11.20.20	TOWNSHIP RESUBMISSION	GPG

REVISION			
NO.	DATE	DESCRIPTION	INT.
1	06.25.20	PER TOWNSHIP REVIEW	APP
2	09.17.20	UPDATE LANDSCAPE AREAS	GPG
3	11.02.20	ADD CUSTOM PARKING SIGNAGE	GPG

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**MIXED USE DEVELOPMENT**  
 MEDICAL OFFICE/FITNESS CENTER  
 269 EAST MAIN STREET  
 TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK  
 S.C.T.M. No.: 347.00-03.00-050.017

Project: **SOLOMON19-292** Scale: **1" = 20'**

Drawn By: **LB** Approved By: **GPG**

Drawing Name: **CONSTRUCTION PLAN**

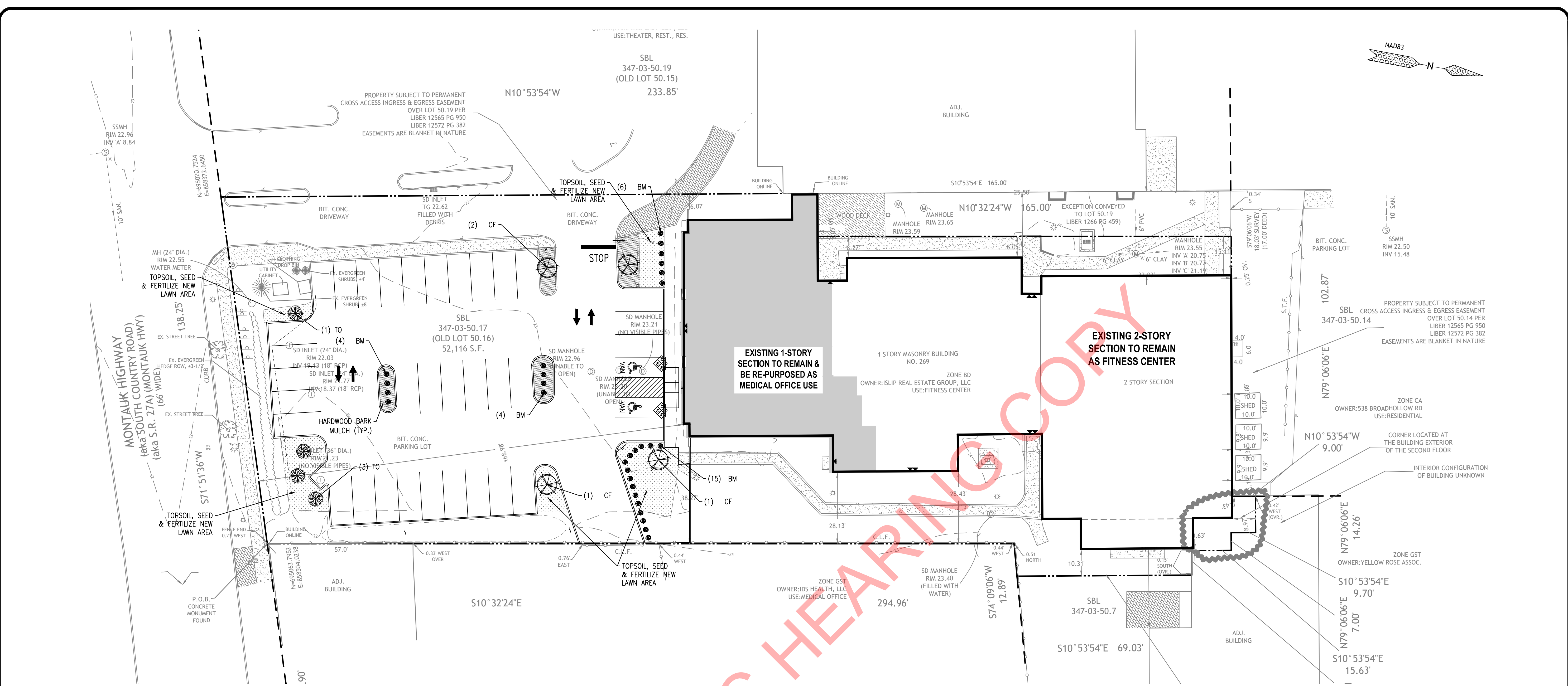
Drawing Number: **C-300**

Sheet No.: **3** of **9**

Initial Date: **OCTOBER 10, 2019**

**RICHARD A. JARMELE**  
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The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



- LANDSCAPING NOTES:**
- NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES," 2012 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED HEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
  - ALL PLANTS SHALL BE DUG, PACKED, TRANSPORTED AND HANDLED WITH THE UTMOST CARE TO ENSURE ADEQUATE PROTECTION FROM INJURY AND DESICCATION.
  - ALL PLANTS SHALL BE PRUNED TO ENSURE VIGOR PRIOR TO OR UPON INSTALLATION, WHILE RETAINING THE NATURAL HABIT OF THE PLANTS. THE CENTRAL LEADER SHALL NOT BE CUT. DAMAGED, BROKEN OR CONFLICTING BRANCHES SHALL BE PRUNED CLEANLY FLUSH WITH THE TRUNK OR BRANCH.
  - BACKFILL MATERIAL FOR PLANTING PITS SHALL BE COMPOSED OF 1 PART PEAT MOSS, 1 PART HUMUS AND 1 PART TOPSOIL FROM THE SITE OR SELECT TOPSOIL. TOPSOIL SHALL BE FREE OF ACIDIC MARL, STICKS, LARGE STONES, DEBRIS OR OTHER OBJECTIONABLE MATERIAL.
  - A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF QUANTITIES, SIZES AND OTHER REQUIREMENTS IS SHOWN ON THE SCHEDULE OF PLANT MATERIAL. IN THE EVENT THAT DISCREPANCIES OCCUR BETWEEN THE QUANTITIES OF PLANTS INDICATED IN THE LIST AND THOSE ON THE PLAN, THE PLANT QUANTITIES ON THE PLAN SHALL GOVERN.
  - AFTER COMPLETION OF A PROJECT, ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN A LAND DEVELOPMENT, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED WITH A NATURAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.
  - NO PLANT SHALL BE PUT IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE ENGINEER.
  - STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS AND FREE FROM DISEASES AND INSECT INFESTATION.
  - NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
  - THE GENERAL CONTRACTOR (G.C.) SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE G.C. SHALL BE RESPONSIBLE FOR ANY DAMAGE.
  - SHADE AND EVERGREEN PLANTS SHALL BE FIELD ADJUSTED TO BE PLANTED AT LEAST 2 (TWO) FEET FROM ANY CURBING, PAVING OR SIDEWALK. WHENEVER POSSIBLE, THIS DIMENSION SHALL BE ADJUSTED TO 4 (FOUR) FEET. THE ENGINEER AND/OR OWNER SHALL ASSIST THE G.C. IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
  - THE G.C. SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE G.C. SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE ENGINEER AND OWNER, TOGETHER WITH A PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.

- THE ENGINEER MAY REVIEW PLANT MATERIALS AT THE SITE BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR SIZE, SPECIES, VARIETY, SIZE AND QUALITY. THE ENGINEER RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING THE PROGRESS OF WORK. THE G.C. SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM THE PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT DOCUMENTS. THE ENGINEER MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
- NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE G.C. AT NO EXPENSE TO THE OWNER.
- THE G.C. SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICE. TREES AND SHRUBS SHOULD BE INSTALLED DURING THE FOLLOWING FALL AND SPRING SEASONS WITH THE EXCEPTION OF TREES WHICH EXPERIENCE A FALL PLANTING HAZARD AND SHOULD ONLY BE PLANTED IN THE SPRING:
  - FALL: AUGUST 15 - DECEMBER 15 - EVERGREEN TREES
  - OCTOBER 15 - DECEMBER 15 - DECIDUOUS TREES
  - SPRING: MARCH 1 - MAY 15 - ALL PLANTS
- MAINTENANCE REQUIRED. ALL LANDSCAPING AS SHOWN ON APPROVED PLANS SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION. ANY PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH HEALTHY NEW PLANTS OF COMPARABLE SIZE, TYPE AND QUALITY AT THE BEGINNING OF THE NEXT IMMEDIATELY FOLLOWING GROWING SEASON. SATISFACTORY ASSURANCE OF SUCH MAINTENANCE SHALL BE A CONDITION OF DEVELOPMENT APPROVAL AND OF CONTINUED CONFORMITY WITH THIS CODE.

**LANDSCAPE AREA CALCULATIONS**

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**LEGEND**

PROPERTY LINE	EXISTING	PROPOSED
BUILDING LINE	---	---
BUILDING CANOPY	---	---
CURB LINE	---	---
DEPRESSED CURB	N/A	---
CONCRETE WALK	---	---
SGN	---	---
FENCE	---	---

**PLANT SCHEDULE**

KEY	QTY.	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT	SIZE	SPACE	ROOT
CF	4	CORNUS FLORIDA	FLOWERING DOGWOOD	25-30 FEET	3.5" CAL.	AS SHOWN	B & B
TO	4	THELMA OCCIDENTALIS NIGRA	DARK AMERICAN ARBORVITAE	20-25 FEET	6-8"	6 FT D.C.	B & B
BM	21	ILEX X VERTICILLATA 'CAROLINA CARDINAL'	KOREAN LITTLE LEAF BOXWOOD	2-3 FEET	24"-30"	AS SHOWN	B & B

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE.

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Architecture  
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**ISSUE**

NO.	DATE	DESCRIPTION	INT.
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**REVISION**

NO.	DATE	DESCRIPTION	INT.
1	09.17.20	UPDATE LANDSCAPE AREAS	GPG

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**CHERYL SCHWEIKER, AIA**  
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 NY LIC: 00107494

**Project:** MEDICAL OFFICE/FITNESS CENTER DEVELOPMENT  
 269 EAST MAIN STREET  
 TOWN OF ISLIP, SUFFOLK COUNTY, NEW YORK  
 S.C.T.M. No.: 347.00-03.00-050.017

Project No: SOLOMON19-292 Scale: 1" = 20'  
 Drawn By: APP Approved By: GPG  
 Drawing Name: LANDSCAPE PLAN

Drawing Number: **C-500**  
 Sheet No: 5 of 9  
 Initial Date: JUNE 25, 2020

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