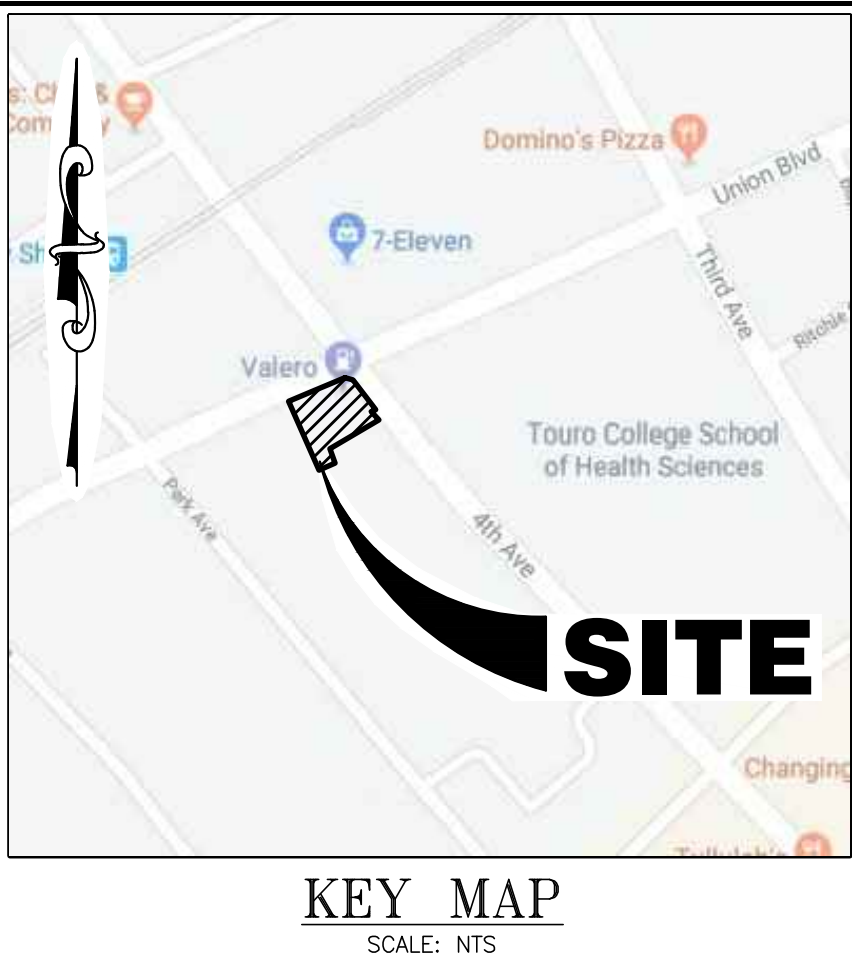


LEGEND
(ALL ITEMS ARE PROPOSED UNLESS OTHERWISE NOTED)

- WV EXISTING WATER VALVE
- GV EXISTING GAS VALVE
- EXISTING DECORATIVE LIGHT POST
- EXISTING TRAFFIC CONTROL BOX
- EXISTING UTILITY POLE
- EXISTING PEDESTRIAN CROSSING CONTROL POST
- EXISTING SIGN
- EXISTING SOLID MANHOLE COVER
- EXISTING CHAIN LINK FENCE
- SOLID PVC FENCE
- 25'R CURB RADIUS
- CONCRETE PAVEMENT ON SITE
- CONCRETE PAVEMENT IN R.O.W.
- AREA LIGHT
- DECORATIVE LIGHT POST



HIGH POINT ENGINEERING

521 CONKLIN STREET
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(516) 777-4320 FAX: (516) 777-4321

ALL PHASES OF ENGINEERING DESIGN,
SURVEYING, CODE CONSULTING,
ZONING ANALYSIS & BID SPECIFICATION

www.HPEng.com

CHRIS M. TARTAGLIA

PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 078209

LAWRENCE D. O'BRIEN

PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 082537

UNLESS APPROVED BY ALL AGENCIES HAVING JURISDICTION, THESE PLANS ARE NOT TO BE UTILIZED FOR CONSTRUCTION. OWNER/CONTRACTOR ARE RESPONSIBLE FOR CONFIRMING ALL REQUIRED AGENCY APPROVALS HAVE BEEN SECURED PRIOR TO COMMENCEMENT OF WORK, WHETHER DESCRIBED ON THESE PLANS OR OTHERWISE.

REVISIONS

REV. NO.	DATE	REVISION
1	12/4/19	REV. PER MONUMENT ID/ PRICE SIGN
2	12/30/19	MISC. REV.
3	1/23/20	PER CLIENT/ PLANNING COMMENTS
4	4/17/20	PER ENGINEERING COMMENTS
5	12/29/20	PER TOWN COMMENTS

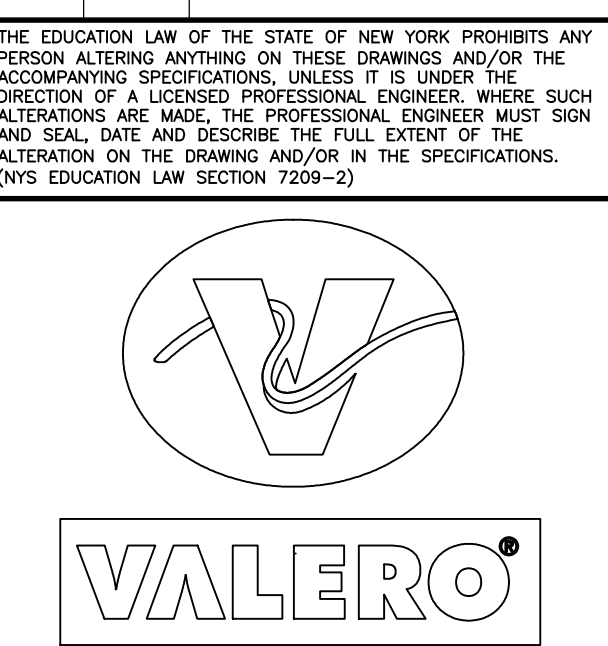
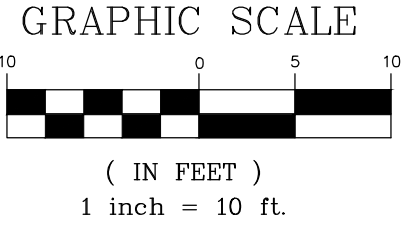
GENERAL NOTES

- THIS DRAWING REFERENCES:
A SURVEY PREPARED BY J.M. LAND SURVEYING
DATED: 1/2016
 - APPLICANTS:
111 REALTY CORP.
1108 ROUTE 110
FARMINGDALE, NY 11735
 - SITE IS TO BE RE-ZONED TO BUSINESS 3
 - PROPOSED USE: GASOLINE SERVICE STATION W/ CONVENIENCE STORE (TOWN BOARD AND PLANNING BOARD SPECIAL PERMITS REQUIRED).
 - BULK REQUIREMENTS:
- | | CODE SECTION | PERMITTED/ REQUIRED | PROVIDED |
|---|---------------------------------------|---|--|
| MIN. LOT AREA | 68-375 | 40,000 SF | 23,423 SF / 0.54 ACRES* |
| MIN. LOT WIDTH | 68-376 | 100' | 110.30' (MIN.) (FOURTH AVE.)
141.18' (MAX.) (UNION BLVD.) |
| MAX. LOT OCCUPANCY (F.A.R.) | 68-374A | 25% (5,856 SF) | 13.5% (3,156 SF) - (BLDG. INCL. PORTICO)
13.3% (3,120 SF) - (CANOPY)
26.8% (6,276 SF) - (BLDG. & CANOPY) |
| MAX. GROSS FLOOR AREA (G.F.A.) | --- | --- | --- |
| MIN. FRONT YARD (MAIN BUILDING) | 68-311 | 25' | UNION BLVD.
20' (BLDG.)** (29' (BLDG.))
FOURTH AVE.
115.8' (BLDG.) |
| MIN. FRONT YARD (ACCESSORY STRUCTURES) | 68-311.E | 35' | UNION BLVD.
28' (CANOPY)**
FOURTH AVE.
28.9' (BLDG.)** |
| MIN. SIDE YARD SETBACK | 68-312 | 10' | 34.1' (BLDG.) (25.2' (BLDG.))
22.7' (CANOPY) |
| MIN. REAR YARD SETBACK | 68-313 | 10' | 3.7' (BLDG.)** (3.5' (BLDG.))**
90.8' (CANOPY) |
| MAX. STRUCTURE HEIGHT | 68-373 | 35' | 30'-0" (BLDG.) |
| MAX. ACCESSORY STRUCTURE HEIGHT | 68-306.C(1) | 18' | 23'-0" (CANOPY)** |
| MAX. WIDTH OF CURB CUT | 68-382.C | 25' | 33' (FOURTH AVE.)**
35' (UNION BLVD.)** |
| MAX. NUMBER OF DISPENSERS | 68-381 | 1 PER 75' OF FRONTAGE
247.93' / 75'
3.3 DISPENSERS | 5 DISPENSERS** |
| MIN. TOTAL LANDSCAPE AREA | SLDR VI Q.3.1*** | 20K
(4,685 SF) | 21.9% (5,131 SF) |
| MIN. LANDSCAPE AREA IN FRONT YARD | SLDR VI Q.3.1*** | 50K
(2,343 SF) | 46.2% (2,166 SF)** |
| MIN. LANDSCAPE WIDTH @ R.O.W. LINE | SLDR VI Q.3.1*** | 8' | 8' |
| MIN. LANDSCAPE WIDTH @ ADJACENT RESIDENTIAL PROPERTY BOUNDARY | SLDR VI Q.3.2 *** | 25' | N/A |
| MIN. PARKING STALL SIZE: | SLDR VI L.7.1*** | 9'x19' | 9'x19' |
| MIN. NUMBER OF PARKING STALLS (CONV. MARKET: 1 STALL PER 100 GFA) | TABLE OF MIN. REQUIRED PARKING SPACES | CONVENIENCE STORE: 2,975 + 15 (KIOSK) = 2,990
2,990 x 1/100 = 29.90
30 STALLS | 12 (INCLUDING 1 ADA STALL)** |

*EXISTING NON-CONFORMING CONDITION TO REMAIN
**PROPOSED NON-CONFORMING CONDITION REQUIRING VARIANCE
***SLDR REFERS TO TOWN OF ISLIP SUBDIVISION/LAND DEVELOPMENT REGULATIONS

Disclaimer:

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



SITE ADDRESS:
PROPOSED CONVENIENCE STORE W/ FILLING STATION
1692 UNION BOULEVARD
BAY SHORE,
TOWN OF ISLIP,
SUFFOLK COUNTY, NY 11706
DISTRICT: 0500
SECTION: 393
BLOCK: 02
LOTS: 103, 105 & 142.1

SITE PLAN

SP-1

REV. 5 OF 1