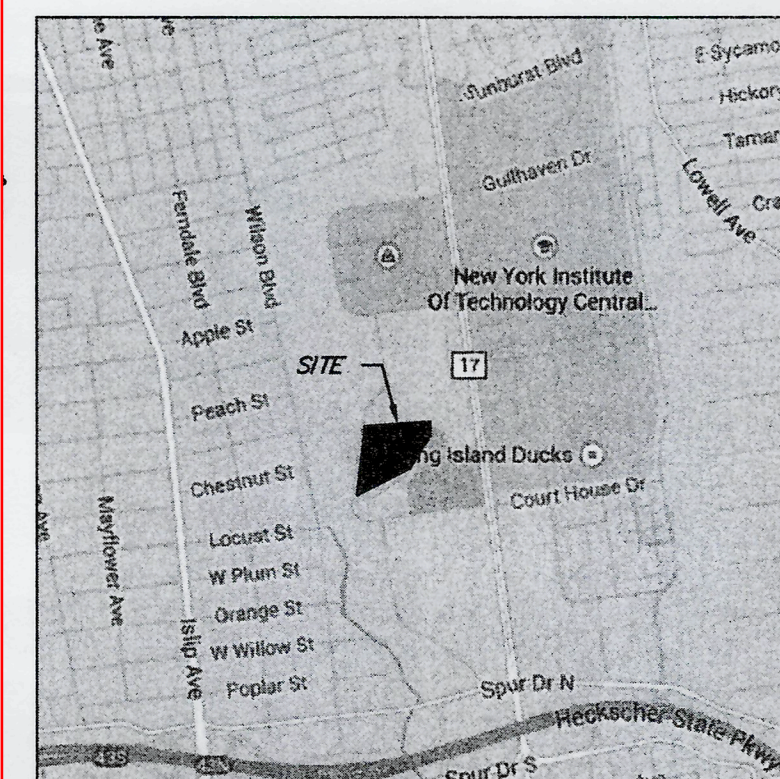


The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.



KEY MAP
SCALE: 1"=2000'

SITE DATA

OWNER/APPLICANT ALPHAMED REALTY, LLC
C/O SUDHAKAR VIDYALA
400 S TECHNOLOGY DRIVE
CENTRAL ISLIP, NY 11722

SITE AREA 268,700 SF (6.169 AC)

CURRENT ZONING CENTRAL ISLIP
PDD-RESEARCH/INDUSTRIAL SUB-DISTRICT

PROPOSED USE WAREHOUSE/ MANUFACTURING

BUILDING AREA 89,362 SF

	PER CODE	PROVIDED
MIN. LOT AREA	1 ACRE	268,700 SF (6.169 AC)
MIN. LOT WIDTH	150'	234.66'
MIN. FRONT YARD SETBACK	50'+1/1' BLDG HT> 35'	55'
MIN. REAR YARD SETBACK	25'+1/1' BLDG HT> 35'	55.05'
MIN. SIDE YARD SETBACK	10'/50'	81'
MAX. BUILDING HEIGHT	60'	40'
MAX. FLOOR AREA RATIO	50%	33.3% (89,362 SF/268,700 SF)
MAX. LOT COVERAGE	40%	33.3% (89,362 SF/268,700 SF)
LANDSCAPED AREA	20% (53,740 SF)	26.6% (71,600.2 SF/268,700 SF)
LANDSCAPING/FRONT YARD	50% OF TOTAL (26,870 SF)	52.8% (26,362 SF/53,740 SF)

NOTES

- EXISTING BACKGROUND AND TOPOGRAPHIC INFORMATION TAKEN FROM TOPOGRAPHIC SURVEY, PREPARED BY CONTROL POINT ASSOCIATES INC. PC. DATED MARCH 6, 2019.
- CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE SDHS, SCOPH, AND TOWN OF ISLIP.
- REFER TO TOWN OF ISLIP'S STANDARD NOTES ON THE COVER SHEET OF THIS PLAN SET.

PARKING DATA

PARKING REQUIRED:

OFFICE: 1 SPACE / 200 SF @ 15% TOTAL FLOOR AREA
89,362 SF x 0.15 = 13,404.3 SF/200 SF = 67.02 SPACES

MANUFACTURING/WAREHOUSE: 1 SPACE / 1,000 SF @ 85% TOTAL FLOOR AREA
89,362 SF x 0.85 = 75,957.7 SF/1,000 SF = 75.96 SPACES

PARKING REQUIRED: 143 SPACES (67.02 + 75.96 = 143)

PARKING PROVIDED: 95 STANDARD SPACES
40 LANDBANKED SPACES
8 HANDICAP SPACES
143 TOTAL SPACES

NUMBER OF SPACES CONSTRUCTED = 103 SPACES

PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, A DEED SHALL BE FILED STATING THAT SHOULD THE PLANNING DEPARTMENT DETERMINE A PARKING ISSUE EXISTS ON THE SUBJECT PROPERTY, THE APPLICANT SHALL CONSTRUCT THE LANDBANKED PARKING WITHIN 60 DAYS AS DIRECTED BY THE PLANNING COMMISSIONER.

ZONE-PDD-REC
USE: RECREATION
(RECENT SCTM# CHANGE TO 229-1-12)

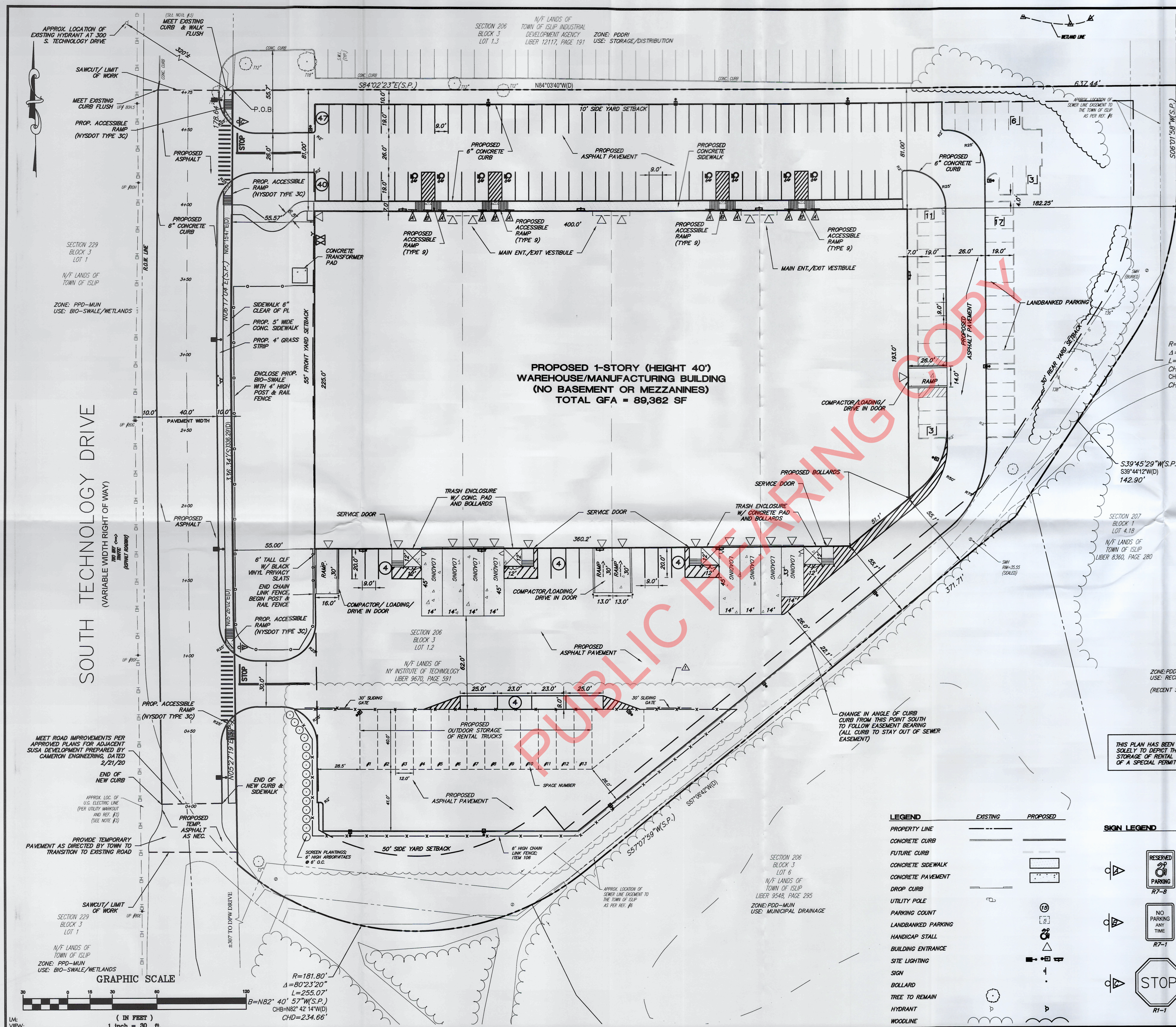
THIS PLAN HAS BEEN PREPARED SOLELY TO DEPICT THE OUTDOOR STORAGE OF RENTAL TRUCKS AS PART OF A SPECIAL PERMIT APPLICATION.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE	---	---
CONCRETE CURB	---	---
FUTURE CURB	---	---
CONCRETE SIDEWALK	---	---
CONCRETE PAVEMENT	---	---
DROP CURB	---	---
UTILITY POLE	---	---
PARKING COUNT	---	---
LANDBANKED PARKING	---	---
HANDICAP STALL	---	---
BUILDING ENTRANCE	---	---
SITE LIGHTING	---	---
SIGN	---	---
BOLLARD	---	---
TREE TO REMAIN	---	---
HYDRANT	---	---
WOODLINE	---	---

SIGN LEGEND

RESERVED PARKING R7-8	(WALL MOUNTED) 12" X 18"
NO PARKING ANY TIME R7-1	(WALL MOUNTED) 12" X 18"
STOP R1-1	30" X 30"



GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.

Barrett Bonacci & Van Weele, PC
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www.bbvp.com

Tax Map No.: DIST. 500, SEC. 206, BLK. 3, LOT 1.2

**ALPHAMED REALTY
PROP. WAREHOUSE**
S. TECHNOLOGY DRIVE, CENTRAL ISLIP
TOWN OF ISLIP SUFFOLK COUNTY

**SPECIAL PERMIT
SITE PLAN**

SITE PLAN #: SP2019-081
Date: SEPTEMBER 17, 2019
Scale: 1"=30'
Project No.: A190535
Sheet No.: 1 of 2