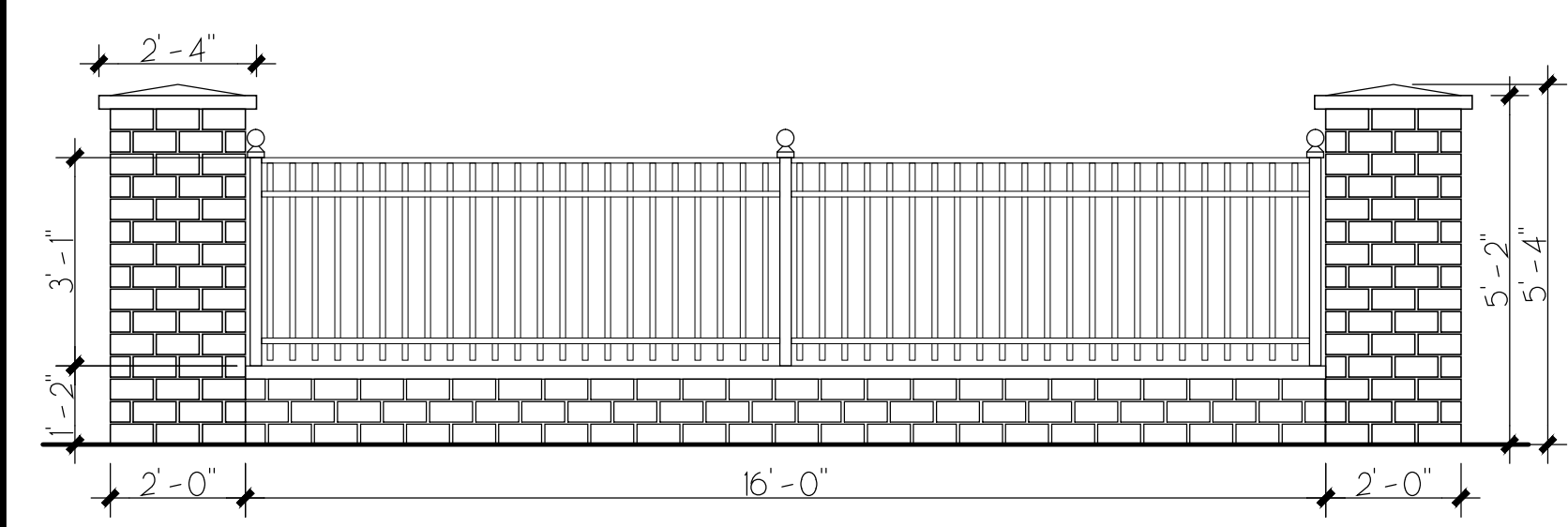
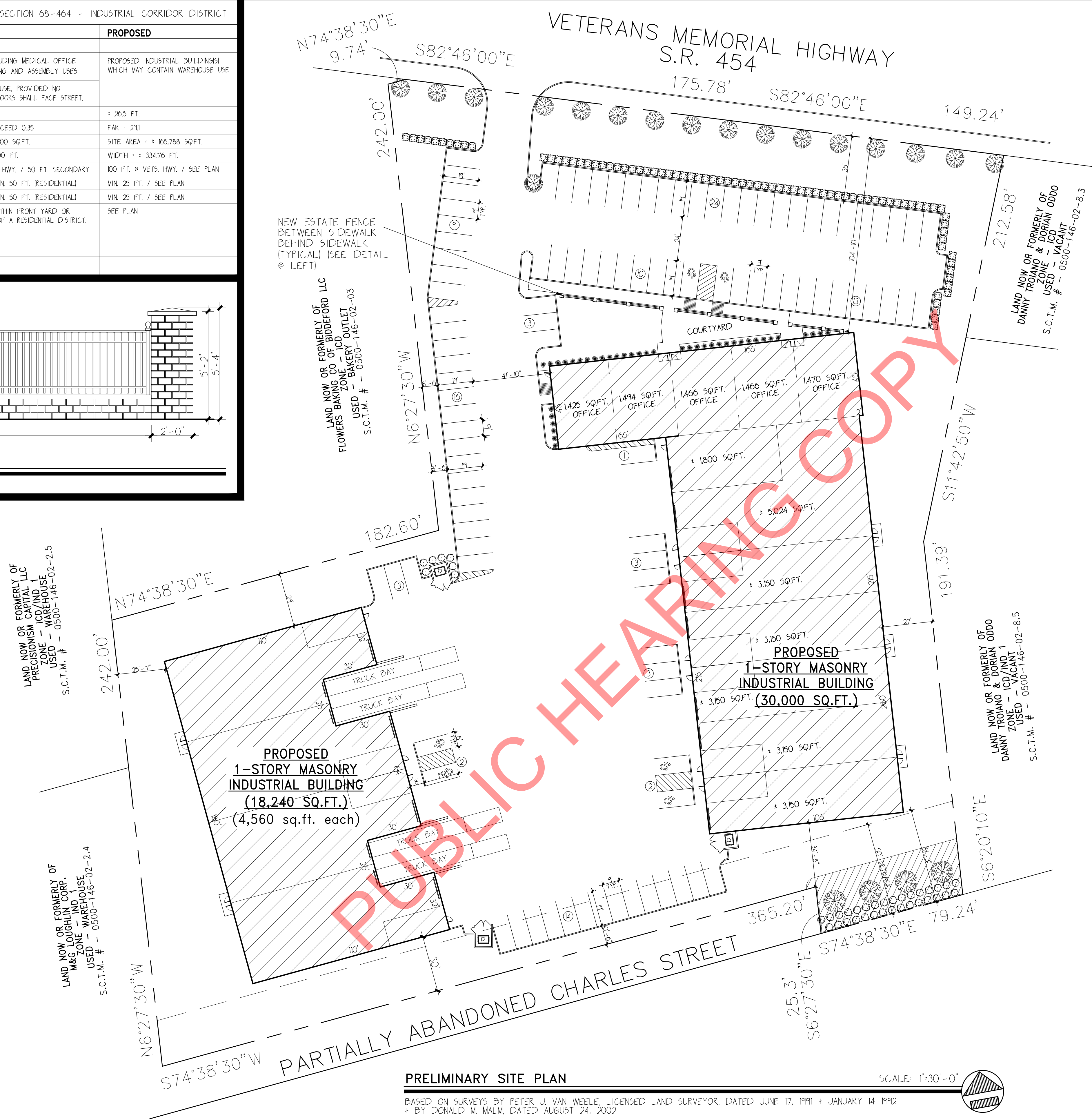


| ZONING DATA | | SECTION 68-464 - INDUSTRIAL CORRIDOR DISTRICT | |
|-------------|---------------------|---|---|
| SECTION | TITLE | REQUIRED | PROPOSED |
| 68-465 | PERMITTED USES | (1) OFFICE, INCLUDING MEDICAL OFFICE (2) MANUFACTURING AND ASSEMBLY USES | PROPOSED INDUSTRIAL BUILDINGS WHICH MAY CONTAIN WAREHOUSE USE |
| 68-466.1 | SPECIAL PERMIT - PB | (B) WAREHOUSE USE, PROVIDED NO OVERHEAD DOORS SHALL FACE STREET. | |
| 68-468 | HEIGHT | 60 FT. | ± 26.5 FT. |
| 68-469 | PERCENTAGE OF LOT | FAR NOT TO EXCEED 0.35 | FAR ± 291 |
| 68-470 | AREA DENSITY | MIN. LOT ± 100,000 SQ.FT. | SITE AREA ± 165,788 SQ.FT. |
| 68-471 | WIDTH OF LOT | MIN. WIDTH ± 300 FT. | WIDTH ± 334.76 FT. |
| 68-472 | FRONT YARD | 100 FT. ± VETS HWY. / 50 FT. SECONDARY | 100 FT. ± VETS. HWY. / SEE PLAN |
| 68-473 | SIDE YARDS | MIN. 25 FT. / MIN. 50 FT. (RESIDENTIAL) | MIN. 25 FT. / SEE PLAN |
| 68-474 | REAR YARD | MIN. 25 FT. / MIN. 50 FT. (RESIDENTIAL) | MIN. 25 FT. / SEE PLAN |
| 68-475 | OFF-STREET LOADING | NO LOADING WITHIN FRONT YARD OR WITHIN 100 FT. OF A RESIDENTIAL DISTRICT. | SEE PLAN |

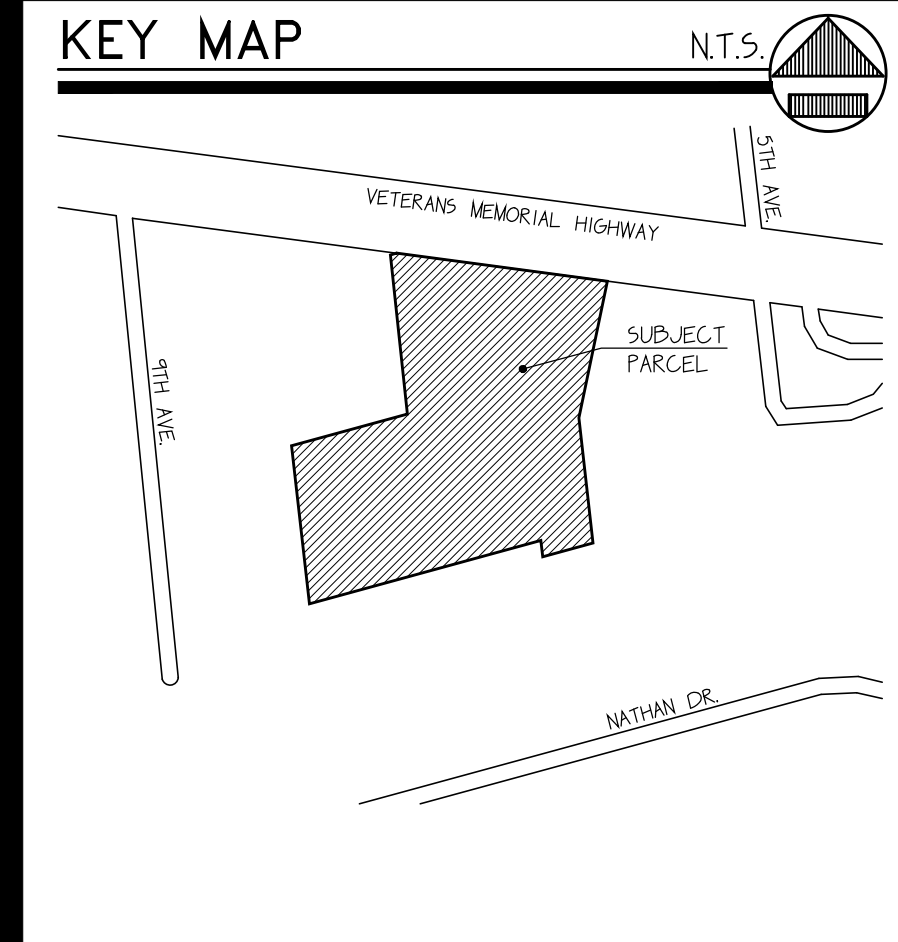
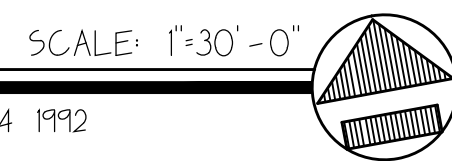


ESTATE FENCE DETAIL
FENCE AND POSTS TO BE BLACK METAL



PRELIMINARY SITE PLAN

BASED ON SURVEYS BY PETER J. VAN WEELE, LICENSED LAND SURVEYOR, DATED JUNE 17, 1991 + JANUARY 14 1992
+ BY DONALD M. MALM, DATED AUGUST 24, 2002



| SITE DATA | |
|---------------------------|------------------------------|
| AREA OF SITE | 3.806 ACRES (165,788 SQ.FT.) |
| EXISTING ZONING | INDUSTRIAL CORRIDOR DISTRICT |
| INTENDED USE | INDUSTRIAL |
| PROPOSED BUILDING AREA | |
| BUILDING #1 | 30,000 SQ.FT. (11.0) |
| BUILDING #2 | 18,240 SQ.FT. (11.0) |
| TOTAL BUILDING AREA | 48,240 SQ.FT. (29.0) |
| PAVING AREA | 66,753 SQ.FT. (40.3) |
| TOTAL LANDSCAPE AREA | |
| W/O BUFFER | 48,396 SQ.FT. (29.2) |
| W/ BUFFER | 50,795 SQ.FT. (30.6) |
| FRONT YARD LANDSCAPE AREA | 16,826 SQ.FT. (10.2) |

| SITE DATA | | W/ ROAD ABANDONMENT |
|---------------------------|------------------------------|---------------------|
| AREA OF SITE | 4.02 ACRES (175,002 SQ.FT.) | |
| EXISTING ZONING | INDUSTRIAL CORRIDOR DISTRICT | |
| INTENDED USE | INDUSTRIAL | |
| PROPOSED BUILDING AREA | | |
| BUILDING #1 | 30,000 SQ.FT. (11.0) | |
| BUILDING #2 | 18,240 SQ.FT. (9.9) | |
| TOTAL BUILDING AREA | 48,240 SQ.FT. (27.6) | |
| PAVING AREA | 66,753 SQ.FT. (38.1) | |
| TOTAL LANDSCAPE AREA | | |
| W/O BUFFER | 48,396 SQ.FT. (27.7) | |
| W/ BUFFER | 60,009 SQ.FT. (34.3) | |
| FRONT YARD LANDSCAPE AREA | 16,826 SQ.FT. (9.6) | |

| PARKING | |
|-----------------------------|--|
| PARKING REQUIRED | |
| OFFICE ± 11,890 / 200 ± | 59.4 SPACES |
| WAREHOUSE ± 36,350 / 1000 ± | 36.4 SPACES |
| PARKING REQUIRED ± | 95.8 SPACES |
| PARKING PROVIDED ± | 103 CAR SPACES (INCLUDING 6 HC. SPACES) |

| SANITARY CALC. | | GWMZ -1 |
|---|------------------------|---------|
| DENSITY CALCULATION | | |
| OFFICE ± 11,890 SF. X .06 GPD/SF. ± | 713.4 GPD | |
| INDUSTRIAL ± 36,350 SF. X .04 GPD/SF. ± | 1,454.0 GPD | |
| REQUIRED DENSITY ± | 2,167.4 GPD | |
| ALLOWABLE DENSITY | | |
| 3.806 ACRES X 600 G.P.D./ACRE ± | 2,283.6 GPD | |
| ACTUAL DENSITY | 2,167.4 < 2,283.6 ∴ OK | |

| REVISION | DATE |
|----------|------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

The posted plan is subject to change. Please note that this site plan may be modified during the Town Planning Board and/or Town Board review process. Please contact the assigned planning department staff member if you have questions regarding the date and status of any posted graphics.

WESTBROOK BUSINESS CENTER
3040 VETS HWY., BOHEMIA, NEW YORK 11716
S.C.T.M.# 0500-146-02-04 & 05
GERMAN & CLEMENS ARCHITECTURE, P.C.
(SUCCESSOR FIRM TO GARY J. BRUNO ARCHITECT, P.C.)
3275 VETERANS MEMORIAL HWY., SUITE 8-11, RONKONKOMA, N.Y. 11779
P 631 563-4848 GermanAndClemens@gmail.com

FILE NO. 20061
DATE 02/23/21
DRAWN J.L.G.
CHKD J.L.G.

SK1