

ZONING DATA				
Project Address	246 N. Main Street Sayville, NY 11782 Lot 23 Block 3 0500-357.00-3.00-023.00			
Local Zoning Ordinance	Town of Islip Zoning Ordinance			
Last Updated	9/22/2021			
BULK AND DENSITY	Existing / Required Zoning	Proposed Project	Variations	
Lot Area [SF]	36,282	36,282		
Zoning District	IND1	IND1		
Use Group - Sec. 68-338-B	Mini Storage Warehouse	Mini Storage Warehouse		
Maximum Floor Area Ratio [F.A.R.] - Sec. 68-344-B	42%	Actual Ratio [F.A.R.] 42%	FAR Variance	
Maximum Area Allowed by F.A.R. - Sec. 68-344-B	15,238	Actual Area [F.A.R.] 15,153	FAR Variance	
YARDS/HEIGHT				
Required Yards [ft] - Sec. 68-347	Front (@ ROW)	50'-0"	Proposed	10'-0"
- Sec. 68-348	Side (@ ROW)	10'-0"	Proposed	5'-0"
- Sec. 68-348	Side (@ Abutting Lot)	10'-0"	Proposed	5'-11"
- Sec. 68-349	Rear (@ Abutting Lot)	25'-0"	Proposed	5'-0"
Maximum Building Height [ft] - Sec. 68-343		60'-0"	Proposed	19'-4"
PARKING/LOADING				
Required Off Street Parking Spaces	Islip Land Development Code - Appendix E - 34	1 Per 5,000 SF + 1 per 200 SF of office space, no less than 10	Provided	15,153 SF/5,000 SF = 3.1 4 Spaces Provided
Required Accessible Parking Spaces	NYSBC - 1106.1	1 Per 25 Spaces	Provided	0.0
Required Off Street Loading		*TBD	Provided	0.0
Required Bicycle Parking		*TBD	Provided	0.0
SIGNAGE				
Signs - Schedule of Sign Regulations Sec. 68-398	Size	20 SF / 1 SF per the width of storefront	Provided	
	Quantity	1 / 1 per frontage	Provided	
	Location	Ground / Wall	Provided	
	Height	15'-0" / 18'-0"	Provided	
ADDITIONAL				
Architectural Standards		Yes		
Flood Zone/Criteria		Zone X		
Easements		No		
Notes:				

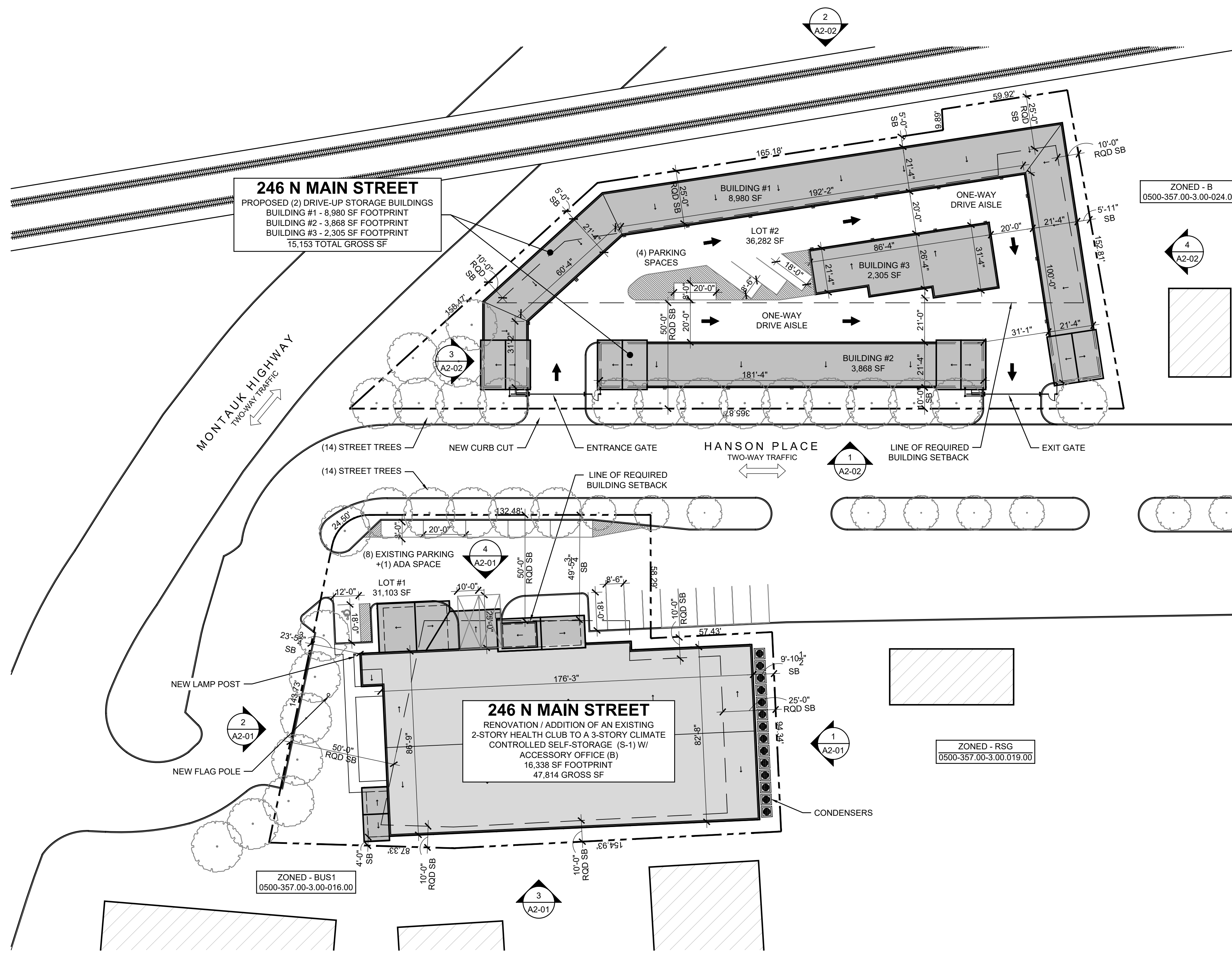
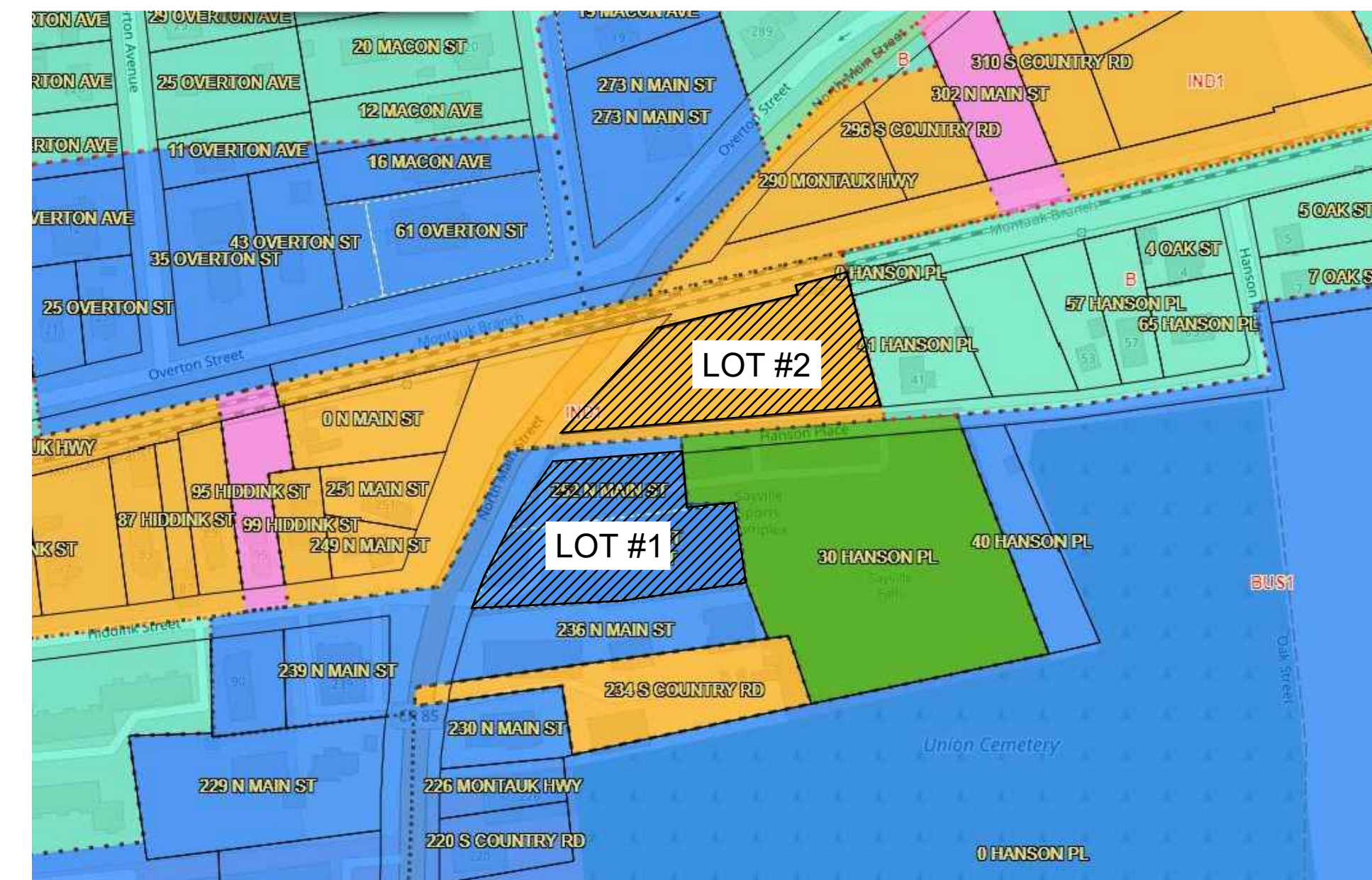
LOT #2

TOWN SUBDIVISION & LANDSCAPE REGULATIONS				
Project Address	246 N. Main Street Sayville, NY 11782 Lot 18 Block 3 0500-357.00-3.00-018.001			
Last Updated	9/22/2021			
COMMERCIAL LANDSCAPE STANDARDS	Required	Proposed Project	Relaxation	
Lot Area [SF]	31,103	31,103		
Minimum Landscaping [%] - Sec. Q-3.1	20%	14%	Yes	
Minimum Landscaping [SF] - Sec. Q-3.1	6,221	4,334	Yes	
Minimum Landscape Depth at Street - Sec. Q-3.1	8'-0"	23'-5 3/4"	Complies	
BUFFERS & SCREENING				
Landscape Buffer - Sec. Q-3.2-B	25'-0" at residential zone	Proposed	N/A	
Landscape Buffer Screen - Sec. Q-3.2-C	6'-0" chainlink fence 6" from property line and plantings	Proposed	N/A	
Street Trees - Sec. Q-3.5-A	1 per 20'-0"	Existing	14 trees at 20'-0" o.c.	
Site Screening - Sec. Q-3.5-B	All parking areas, loading areas, trash and storage areas must be screened	Proposed	Screened	
Interior Parking Lot Screening - Sec. Q-3.5-C	5'-0" buffer between propertyline and interior parking lot	Existing	2'-0"	

LOT #1

ZONING DATA				
Project Address	246 N. Main Street Sayville, NY 11782 Lot 18 Block 3 0500-357.00-3.00-018.001			
Local Zoning Ordinance	Town of Islip Zoning Ordinance			
Last Updated	9/21/2021			
BULK AND DENSITY	Permitted / Required Zoning	Existing Zoning	Proposed Project	Variations
Lot Area [SF]	31,103	31,103	31,103	
Zoning District	IND1	B1	IND1	
Use Group - Sec. 68-338-B	Mini Storage Warehouse	Health Club	Mini Storage Warehouse	
Maximum Floor Area Ratio [F.A.R.] - Sec. 68-344-B	42%	40%	Actual Ratio [F.A.R.] 154%	FAR Variance
Maximum Area Allowed by F.A.R. - Sec. 68-344-B	13,083	12,441	Actual Area [F.A.R.] 47,814	FAR Variance
YARDS/HEIGHT				
Required Yards [ft] - Sec. 68-347	Front (@ ROW)	50'-0"	Proposed	Existing 23'-5 3/4"
- Sec. 68-348	Side (@ ROW)	10'-0"	Proposed	Existing 4'-4 3/4"
- Sec. 68-348	Side (@ Abutting Lot)	10'-0"	Proposed	Existing 4'-0"
- Sec. 68-349	Rear (@ Abutting Lot)	25'-0"	Proposed	Existing 9'-10 1/2"
Maximum Building Height [ft] - Sec. 68-343		60'-0"	Proposed	Existing 42'-7"
PARKING/LOADING				
Required Off Street Parking Spaces	Islip Land Development Code - Appendix E - 34	1 Per 5,000 SF + 1 per 200 SF of office space, no less than 10	Provided	47,201 SF/5,000 SF = 9.4 + 613 SF/200 = 3.1 = 12.5 9 Spaces Provided
Required Accessible Parking Spaces	NYSBC - 1106.1	1 Per 20 Spaces	Provided	1.0
Required Off Street Loading		*TBD	Provided	2.0
Required Bicycle Parking		*TBD	Provided	0.0
SIGNAGE				
Signs - Schedule of Sign Regulations Sec. 68-398	Size	20 SF / 1 SF per the width of storefront	Provided	
	Quantity	1 / 1 per frontage	Provided	
	Location	Ground / Wall	Provided	
	Height	15'-0" / 18'-0"	Provided	
ADDITIONAL				
Architectural Standards		Yes		
Flood Zone/Criteria		Zone X		
Easements		No		
Notes:	Check for easements due to possible shared parking and shared trash enclosure with neighboring business.			

TOWN SUBDIVISION & LANDSCAPE REGULATIONS				
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Last Updated	9/22/2021			
COMMERCIAL LANDSCAPE STANDARDS	Required	Proposed Project	Relaxation	
Lot Area [SF]	36,282	36,282		
Minimum Landscaping [%] - Sec. Q-3.1	20%	16%	Yes	
Minimum Landscaping [SF] - Sec. Q-3.1	7,256	5,643	Yes	
Minimum Landscape Depth at Street - Sec. Q-3.1	8'-0"	10'-0"	Complies	
BUFFERS & SCREENING				
Landscape Buffer - Sec. Q-3.2-B	25'-0" at residential zone	Proposed	5'-11" minimum	
Landscape Buffer Screen - Sec. Q-3.2-C	6'-0" chainlink fence 6" from property line and plantings	Proposed	6'-0" Fence	
Street Trees - Sec. Q-3.5-A	1 per 20'-0"	Proposed	14 trees at 20'-0" o.c.	
Site Screening - Sec. Q-3.5-B	All parking areas, loading areas, trash and storage areas must be screened	Proposed	Screened	
Interior Parking Lot Screening - Sec. Q-3.5-C	5'-0" buffer between propertyline and interior parking lot	Proposed	10'-0"	



1 SITE PLAN
SCALE: 1" = 30'-0"

NOT FOR CONSTRUCTION

07/16/21 - ISSUED FOR REVIEW

NO	DATE	ISSUE DESCRIPTION
5	09/23/2021	ISLIP ZONING RE-SUBMITTAL
4	07/16/2021	ISLIP ZONING RE-SUBMITTAL
3	06/29/2021	ISLIP ZONING RE-SUBMITTAL
2	05/26/2021	ISLIP ZONING SUBMITTAL
1	04/12/2021	ISLIP ZONING SUBMITTAL

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PRINCIPAL: MS P.M.: CM
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 SAYVILLE, NEW YORK 11782

SITE PLAN

A0-01